



AGENDA

**Regular Council Meeting
Tuesday, November 18, 2025, at 6:30 p.m.
Powassan Council Chambers
252 Clark Street, Powassan, ON**

1. CALL TO ORDER

2. LAND ACKNOWLEDGMENT

"We respectfully acknowledge that we are on the traditional territory of the Anishinaabe Peoples, under the terms of the Robinson-Huron Treaty of 1850 and the Williams Treaties of 1923. We wish to acknowledge the long history of First Nations and Metis Peoples in Ontario and show respect to the neighbouring Indigenous communities. We offer our gratitude towards the Indigenous peoples for their past and present stewardship over these lands, waterways, and resources. May we continue to honour their history, culture, and teachings as we work towards reconciliation."

3. ROLL CALL

4. DISCLOSURE OF MONETARY INTEREST AND GENERAL NATURE THEREOF

5. APPROVAL OF THE AGENDA

6. DELEGATIONS TO COUNCIL

6.1 Bimaajitoon Search and Rescue Team Presentation – Gordon Lane

7. ADOPTION OF MINUTES OF PREVIOUS OPEN SESSION MEETINGS OF COUNCIL

7.1 Regular Council Meeting of October 21, 2025

8. MINUTES AND REPORTS FROM COMMITTEES OF COUNCIL

9. MINUTES AND REPORTS FROM APPOINTED BOARDS

9.1 The Golden Sunshine Municipal Non-Profit Housing Corporation – Minutes of August 19, 2025

9.2 Powassan and District Union Public Library – Minutes of September 15, 2025

10. STAFF REPORTS

10.1 Treasurer, B. Robinson – 2025 Q3 Budget Variance Report

10.2 Manager of Operations, T. Keefe – Endorsement of Ontario Regulation 239/02 Minimum Maintenance Standards

10.3 Manager of Operations, T. Keefe – Monthly Public Works Update, November 2025

11. BYLAWS

12. UNFINISHED BUSINESS

12.1 Tacoma Engineers – Trout Creek Community Centre Condition Assessment Report No. 2

13. NEW BUSINESS

13.1 Ministry of Finance – Update on 2026 Ontario Municipal Partnership Fund

13.2 Planscape Planning Report – Consent Application B28/Powassan/2025

13.3 Planscape Planning Report – Consent Application B29/Powassan/2025

13.4 Planscape Planning Report – Consent Application B32/B33/Powassan/2025

13.5 Trout Creek Lions' – Donation Request Application

13.6 Ministry of Transportation – Pothole Prevention and Repair Program Notification

14. CORRESPONDENCE

14.1 Ministry of Municipal Affairs and Housing – Amendments to Development Charges Act, 2025

15. ADDENDUM

16. NOTICE OF SCHEDULE OF COUNCIL AND BOARD MEETINGS

17. CLOSED SESSION

17.1 Adoption of Closed Session Minutes of October 21, 2025

17.2 Labour Relations – Section 239(2)(d) of the Municipal Act and under Section 9(4)(d) of the Procedural Bylaw – matters regarding labour relations or employee negotiations.

17.3 Identifiable Individuals – Section 239(2)(b) of the Municipal Act and under Section 9(4)(b) of the Procedural Bylaw – matters regarding an identifiable individual, including municipal or local board employees.

17.4 Identifiable Individuals – Section 239(2)(b) of the Municipal Act and under Section 9(4)(b) of the Procedural Bylaw – matters regarding an identifiable individual, including municipal or local board employees.

17.5 Identifiable Individuals – Section 239(2)(b) of the Municipal Act and under Section 9(4)(b) of the Procedural Bylaw – matters regarding an identifiable individual, including municipal or local board employees.

18. MOTION TO ADJOURN



Bimaajitoon SAR

SAR structure in Canada:
SARVAC – Federal
OSARVA – Provincial
Bimaajitoon - Regional

Primary role: GSAR

- Primary role: Ground Search and Rescue

Process for activation; example

- Diego goes for a walk
- Dora notices he doesn't return
- Dora calls 911 to report missing person
- OPP are activated – investigate the report

Primary Role: SAR

- If the OPP determine a **likely location** in which Diego may be found, *and*
- If the OPP is **limited in resources** available for the search, *and*
- If the OPP deem the search to be not hazardous to volunteer searchers (i.e. **no dangerous criminal persons at large in the search area**)

Primary Role: SAR

The OPP calls and activates our team

- We search under the direction of the OPP and report all findings to OPP.

Search activation quiz

- When Dora is worried enough to want to report a missing person she should call;
 - a. Today's Bimaajitoon Presenter
 - b. Bimaajitoon SAR via their website
 - c. OPP
 - d. 911

Prior to 2021/22

No SAR team serving the Parry Sound district

Northeast – BAYSAR

Northwest – North Shore SAR

South - GBVSAR

Origin of Bimaajitoon SAR

- 2018 – community members begin discussion of forming a team
- 2021-2022 – Incorporated as a not-for-profit
 - A name and a logo (after considerable consultation with local first nation groups)
 - BSAR trained searchers
 - Membership in OSARVA and SARVAC
 - Insurance, and some search equipment

Activities:

Assisted OPP search in Parry Sound x 1, Carling x 2,
Sundridge x 1

Called to respond, then stood down to missing person
incident (x 1 – Magnetawan)

Put on call to assist via Mutual aid with searches
elsewhere in Ontario (x 2 – Timmins, Muskoka)

HWF – Invited to help; Fort Hope (pandemic related),
Labrador (Fire Evac), B.C. (flooding)

Activities

New 2024/5 – EMO partners with OSARVA to use SAR assets during emergencies in Ontario

SARVAC co-ordinates GSAR response to large emergencies anywhere in Canada.

capabilities that can be tasked include: search and rescue, site management / incident command, first aid, operational communications, wellness checks, logistics support, security / traffic management and general labour.

Our team can be activated for a search only by
OPP

For needs other than a search (such as assisting EMS or Fire with a medical extraction, or assisting a township with emergency management) we can be activated by the “agency with jurisdiction” such as EMS, a municipality, EMO.

(Your CEMC may consider contacting our team ahead of an emergency to arrange a memorandum of understanding)

Funding

How are we funded?

- We are an incorporated not-for-profit
- In Ontario, there is no provincial or federal support programs for GSAR teams
- our volunteer members organize and run various fundraising events – Boot Drive, Polar Dip
- We depend on donations, and apply for Grants as opportunities arise

Funding

What expenses do we have?

OSARVA annual membership, equipment maintenance, insurance, training expenses

Additional equipment purchases, uniforms, replacement 1st aid and supplies, food for searchers when on extended searches.

~\$10,000/year





Regular Council Meeting
Tuesday, October 21, 2025, at 6:30 pm
Powassan Council Chambers

Present: Markus Wand, Deputy Mayor
Randy Hall, Councillor
Dave Britton, Councillor
Leo Patey, Councillor

Staff: Kim Bester, Deputy Clerk
Treavor Keefe, Manager of Operations

Absent,
With Regrets: Peter McIsaac, Mayor

Presentations: None.

Disclosure of Monetary Interest and General Nature Thereof: None.

2025-313 Moved by: D. Britton Seconded by: L. Patey
That the agenda of the Regular Council Meeting of October 21, 2025, be approved. **Carried**

2025-314 Moved by: L. Patey Seconded by: R. Hall
That the minutes of the Regular Meeting of Council of October 7, 2025,
be adopted. **Carried**

2025-315 Moved by: R. Hall Seconded by: L. Patey
That the District of Parry Social Services Administration Board CAO's Report of October
2025, be received. **Carried**

2025-316 Moved by: L. Patey Seconded by: D. Britton
That the report from Clerk, A. Quinn, regarding the Hummel Bridge Repair Update be
received for information purposes. **Carried**

2025-317 Moved by: R. Hall Seconded by: L. Patey
That the report from Manager for Operations, T. Keefe, regarding Flooring Replacement at
the Sportsplex be received; and,

FURTHER that staff be directed to move forward with the flooring replacement as set out in
the memo. **Carried**

2025-318 Moved by: L. Patey Seconded by: D. Britton
That the report from Manager of Operations, T. Keefe, regarding Speeding Concerns –
Community Speed Review, be received; and,

FURTHER that staff be directed to move forward with a review of posted speed limits, signage, and potential traffic calming or deterrent measures throughout the Municipality with findings and recommendations to be presented to Council at a future meeting. **Carried**

2025-319 Moved by: D. Britton Seconded by: R. Hall
That the report from Manager of Operations, T. Keefe, regarding the Trout Creek Community Centre Winter Operational Plan (2025-2026) be received for information purposes. **Carried**

2025-320 Moved by: R. Hall Seconded by: L. Patey
That correspondence dated October 7, 2025, from the Township of Nipissing be received; and,

FURTHER that the Municipality of Powassan supports the appointment of Mayor Yemm to the Eastholme Board of Management for the remainder of the Council term. **Carried**

2025-321 Moved by: L. Patey Seconded by: D. Britton
That correspondence from the Ministry of Municipal Affairs and Housing regarding the 2025 Northeast Planning Workshop being held November 13 and 14 in Sudbury be received; and,

FURTHER that Councillor Britton attends the Workshop. **Carried**

2025-322 Moved by: D. Britton Seconded by: L. Patey
That the Ontario Clean Water Agency's Powassan Water and Wastewater Systems Quarterly Operations Report dated July 1-September 30, 2025, be received.

Recorded Vote: Requested by Councillor Patey

Councillor Patey	Yea
Councillor Hall	Yea
Councillor Wand	Yea
Councillor Britton	Yea

Carried

2025-323 Moved by: D. Britton Seconded by: R. Hall
That the correspondence from Almaguin Community Economic Development (ACED) be received. **Carried**

2025-324 Moved by: L. Patey Seconded by: D. Britton
That the report from Councillor Hall regarding Bell Canada in Trout Creek be received; and,

FURTHER that staff be directed to communicate with Bell as set out in the memo. **Carried**

2025-325 Moved by: R. Hall Seconded by: L. Patey
That Council now adjourns to closed session at 7:12pm to discuss:
17.1 Adoption of Closed Session Minutes of October 7, 2025
17.2 Labour Relations – Section 239(2)(d) of the Municipal Act and under Section 9(4)(d) of the Procedural Bylaw – matters regarding labour relations or employee negotiations.
17.3 Identifiable Individuals – Section 239(2)(b) of the Municipal Act and under Section 9(4)(b) of the Procedural Bylaw – matters regarding an identifiable individual, including municipal or local board employees. **Carried**

2025-326

Moved by: L. Patey Seconded by: R. Hall

That Council now reconvenes to regular session at 8:14 p.m.

Carried

2025-327

Moved by: L. Patey Seconded by: R. Hall

That Council now adjourns at 8:15 p.m.

Carried

Mayor

Clerk

THE GOLDEN SUNSHINE MUNICIPAL NON-PROFIT HOUSING CORPORATION

BOARD OF DIRECTORS MEETING MINUTES

Common Room – August 19, 2025 @ 9:30 a.m.

A regular meeting of the Golden Sunshine Municipal Non-Profit Housing Corporation board was held on Tuesday August 19, 2025

Present: Bernadette Kerr, Mieke Markus, Dave Britton, Dave Yemm, Leo Patey, Nancy McFadden, Amber McIsaac, Trevor Kitchen

Regrets: Calvin Young

1. Call to Order

The meeting was called to order at 9:30 a.m. by Bernadette Kerr

Resolution 2025-40:

the Golden Sunshine Non-Profit Housing Corporation calls *the Board of Directors meeting of August 19, 2025, is to order at: 9:30am*

Moved by: ___Dave Y.____ Seconded by: ___Leo____ Carried.

2. Additions to Agenda

Correspondents Item e) Letter addressed to Bernadette Kerr

3. Approval of the Agenda

The agenda was reviewed and approved as amended/presented.

Resolution 2025-41

the Golden Sunshine Non-Profit Housing Corporation hereby approves the amended *agenda for the August 19, 2025.*

Moved by: ___Dave Y.____ Seconded by: ___Leo____ Carried.

Correction to Business arising d) Mike Wagner Quote 2025/2026

4. Conflict of Interest Disclosure

No conflicts of interest were declared.

5. Approval of the Minutes from June 18, 2025

The minutes from the June 18, 2025 board meeting were reviewed and approved.

Resolution 2025-42:

the Golden Sunshine Non-Profit Housing Corporation hereby approves *the minutes of the June 18, 2025 board meeting are hereby approved.*

Moved by: ___Nancy____ Seconded by: ___Dave____ Carried.

6. Business Arising

a) Patio Project Updates – Trevor Kitchen Presentation

Trevor Kitchen provided an update on the patio project progress. The Board received the presentation for information, and direction was given to proceed with a change order once received, to install thresholds at each patio door.

b) Mike Wagner Quote for 2025/2026 Snowplowing & Sanding

The Board reviewed the quote from Mike Wagner for snowplowing and sanding services for the 2025/2026 winter season.

Resolution 2025-43:

The Golden Sunshine Non-Profit Housing Corporation hereby approves the snowplowing and sanding contract for the 2025/2026 winter season be awarded to Mike Wagner for the total amount of \$3,800 plus HST, with additional sanding services to be provided as needed at a rate of \$80 per application, plus HST.

Moved by: _____ Dave Y. _____ Seconded by: _____ Dave B. _____ Carried.

c) Rent Increase 2026

Resolution 2025-44:

the Golden Sunshine Non-Profit Housing Corporation hereby approves a rent increase of 2.1%, rounded down to the nearest dollar amount, for the 2026 calendar year, applicable to all tenants classified under market rent, in accordance with the Rent Increase Guideline established by the Government of Ontario for 2026.

Moved by: _____ Leo _____ Seconded by: _____ Mieke _____ Carried.

d) Lease Addendum

The Board discussed proposed lease addendum. Amber asked to send a reminder letter to the tenants not to clear snow and ice from the buildings roof or eavestrough and outline ice build up procedure. Amber asked to create an RFP for attic insulation quotes and follow up with DSSAB regarding OPHI 7 project approval.

Apartment Type	Current Rent	2.1% Increase	New Rent
1 Bedroom	\$703	\$14	\$717
1 Bedroom	\$820	\$17	\$837
1 Bedroom	\$888	\$18	\$906
1 Bedroom	\$922	\$19	\$941
2 Bedroom	\$1000	\$21	\$1021
2 Bedroom	\$1050	\$22	\$1072

Resolution 2025-44:

The Golden Sunshine Non-Profit Housing Corporation hereby approves an addendum to Schedule A, Section 1-15 (Snow Removal) of the tenancy Agreement to include the following provision:

The Corporation shall have no obligation to perform or provide snow removal, ice treatment or other winter related maintenance services for any area designated as exclusive use for the individual tenant.

Such areas include, without limitation, private patios, balconies, and assigned or exclusive-use parking spaces. Responsibility for snow and ice removal and any winter related maintenance in such exclusive use areas shall remain solely with the tenant.

Moved by: __Dave Yemm____ **Seconded by:** __Leo____ **Carried.**

e) Letter from Bernadette to the Tenants

The Board reviewed the letter from Bernadette to the tenants regarding process for complaints.

d) Letter addressed to Bernadette Kerr

Bernadette read letter aloud and meeting went into closed session.

Resolution 2025-45

The Golden Sunshine Non-Profit Housing Corporation regular board of Directors meeting entered closed session at 10:05am.

Moved by: __Leo____ **Seconded by:** __Dave Yemm____ **Carried.**

Resolution 2025-46

The Golden Sunshine Non-Profit Housing Corporation regular board of Directors meeting moved into open session at 10:13am.

Moved by: __Dave Yemm____ **Seconded by:** __Leo____ **Carried.**

7. Correspondence

a) Financials – June 2025 Transaction Reports

b) Financials – June 2025 Income Statement

c) DSSAB Additional Subsidy Payment for 2024

d) World Source Investment Summary (April 1 – June 30, 2025)

The Board reviewed and accepted all financial documents and correspondence as presented. Dave Britton asked Amber to contact World Source regarding the administrative fees.

Resolution 2025-47:

The Golden Sunshine Non-Profit Housing Corporation has received and approved the June 2025 financial transaction reports, the June 2025 income statement, the DSSAB 2024 additional subsidy report, and the World Source investment summary for Q2 2025.

Moved by: __Nancy____ **Seconded by:** __Leo____ **Carried.**

8. Next Meeting

The next meeting of the Board is scheduled for Tuesday, September 16, 2025.

9. Adjournment

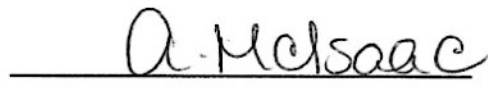
There being no further business, the meeting was adjourned at 10:25

Resolution 2025-48:

Be it resolved that the Board of Directors meeting of August 19, 2025, is hereby adjourned

Moved by: _____ **Seconded by:** _____ **Carried.**


Bernadette Kerr, President


Amber McIsaac, Secretary

Powassan & District Union Public Library

Minutes for Monday, September 15, 2025 – 6:15 p.m.

Board Meeting @ Library

In-person: Debbie Piper, Bernadette Kerr, Steve Kirkey, Jennie Leblond, Valerie Morgan, Pat Stephens, Marie Rosset

Via Zoom: Randy Hall at 6:45pm

Absent with regrets: Tina Martin, Laurie Forth


Recording of meeting

Item	Action	Responsibility
1. Call to order	6:15 pm	
2. Respect and Acknowledgement Declaration	<p>Declaration read by CEO</p> <p>We respectfully acknowledge that we are on the traditional territory of the Anishinaabe Peoples, in the Robinson-Huron and Williams Treaties areas. We wish to acknowledge the long history of First Nations and Métis Peoples in Ontario and show respect to the neighbouring Indigenous communities. We offer our gratitude for their care for, and teachings about, our earth and our relations. May we continue to honour these teachings and recognize their value going forward.</p>	
<p>3. General Consent Motion:</p> <p>Presents the general Consent Motion for September 2025, which includes:</p> <p>a) Approval of September 15, 2025 Agenda with amendments</p> <p>b) Approval of Minutes from the July 7, 2025 meeting</p> <p>c) Approval of the June, July, and August 2025 Financial Statements</p> <p>d) Library Report for June and July 2025</p>	<p><u>Motion: 2025-30</u></p> <p>That the General Consent Motion for September 2025 be adopted as amended</p> <p>Moved by: Bernadette Kerr</p> <p>Seconded by: Jenny Leblond</p> <p>Carried.</p>	
4. Disclosure of pecuniary interest	None	
5. Business		
a) Reminder – Session related to Board governance	<p>Date: November 20, 2015 – 6-8pm</p> <p>CEO will send links to Board members about one week before Nov 20th.</p>	CEO

b) New Recycling Provincial Legislation for IC&I Location	<ul style="list-style-type: none"> - New provincial legislation on the pick-up of recyclable material for libraries starting in January 2026. CEO contacted Municipal CAO and was informed pick-up would remain the same. 	
c) Music Festival Outcome	<ul style="list-style-type: none"> - Library hosted a Music Festival on August 22, 2025 from 5 to 10pm, in their backyard. - Profits amounted to \$1,991 - Total attendance, including musicians, volunteers, attendees, and employees, was over 140 - Municipality supplied the wooden stage and the BBQ free of charge - Next year library will apply for a grant through the Ontario Art Council to cover some of the costs and compensation for musicians 	
d) Grants update	<ul style="list-style-type: none"> - Canada Summer Job Program: Completed final report, and waiting for final payment - Lifejackets Program About 5 children's lifejackets and 2 adults' were circulated. Good for first year. - OTF Resilience Grant and OTF Capital Grant are completed. Both grants need their Acknowledgement Event to be scheduled. Working on date to accommodate MPP Vic Fedeli - Completed and submitted the 2025 PLOG 	CEO and OTF
e) Enter Closed Meeting	<p>Motion: 2025-31 That the PDUPL move into a session that is closed to the public in accordance to the Public Act, Section 16.1(b) personal matters about an identifiable individual at 6:30pm. Moved by: Jenny Leblond Seconded by: Bernadette Kerr</p>	

f) End closed meeting	<p>Motion: 2025-32 That the PDUPL move out of a session that is closed to the public at 7:07pm Moved by: Valerie Morgan Seconded by: Stephen Kirkey</p>	
g) Partnership with Municipality	<p>Quite a few successful partnerships occurred this summer, namely:</p> <ul style="list-style-type: none"> - The gap Kids and Mayor Peter McIsaac participated at our opening TD Summer Program event. Mayor was on Hot dog duty and the kids enjoyed the show and the hotdogs. - TD Summer Kids used the municipal pool every Friday from 2:30 to 3:30pm - Municipality supplied the stage and BBQ for the music festival - There was an end of program dance at the library for the GAP and TD kids – huge success! 	
h) Library Agreement Renewal Meeting	<ul style="list-style-type: none"> - Schedule renewal meeting with all three Mayors and council representatives sitting on the Library Board. - Library space available if required, also any information or documents will be made available upon request. - Goal is to have agreement completed by the end of November 2025 	<p>Randy Hall, Steven Kirkey, Bernadette Kerr</p> <p>CEO</p>
i) Fundraising Opportunities	<ul style="list-style-type: none"> - Jared Dupuis offered to run a Golf Tournament to raise funds for the library. - All members agreed that Music Festival worth continuing yearly. 	
j) Upcoming Activities	<ul style="list-style-type: none"> - CEO shared new library bookmarks listing weekly, monthly and yearly activities with Board members. - Steve Kirkey requested some copies for Nipissing. - September 30th at 1pm, recognition event for Marty Schreiter. Board members encouraged to attend. 	<p>CEO</p>

6. Correspondence	<ul style="list-style-type: none"> - Email from Elevator1 informing of the takeover of our contract by Pace, with the understanding that Pace will continue with the same original agreement. - Potential for costly (\$70,000) expense should the hydraulic oil start leaking - Email from Brenda Lennon announcing her resignation due to family commitments. 	Decision to proceed similarly to The Pines, hope for the best and worry about it when it happens
7. Committee Reports a) Property Committee b) Financial Committee c) Policy Committee d) Friends of the Library	<p>All tasks from the OTF Capital Grant are now completed and paid for. Only the Acknowledgement Event remains to be completed.</p> <ul style="list-style-type: none"> - Increase in maintenance spending was for special projects that were in turn covered by donations from the Friends of the Library - CEO to prepare the first draft of the 2026 Budget for the October 20, 2025 Library Board meeting - CEO to book appoint. To transfer \$1,200 from general account to Maintenance GIC - Increase in Interest costs due to payroll deduction remittance delay fine (300) • GOV-04 Succession Planning Policy for CEO and Board Members. - Deferred until October meeting when Chair is able to present the overhauled policy - Their next major fundraising event is the annual Gloria Brown Crafting Items Sale scheduled for September 26th and 27th. - Usually well attended 	<p>CEO, OTF rep., Vic Fedeli</p> <p>CEO</p> <p>Tina Martin</p> <p>CEO, Friends</p>
8. Adjournment	Motion: 2025-33 That the September 15, 2025 meeting be adjourned at 7:45 pm. Moved by: Pat Stephens	Next meeting: October 20, at 6:15 pm

Chairperson:  **Debbie Piper, Vice Chair**

Recorder:  **Marie Rosset, CEO**



STAFF REPORT

To: Council
From: Treasurer, B. Robinson
Re: 2025 Q3 Budget Variance Report

RECOMMENDATION:

Received for information purposes.

ANALYSIS:

Enclosed please find the budget variance report as of September 30, 2025.

ACCOUNT	DESCRIPTION	2025 BUDGET	2025 YTD (09/30)	NOTES
	TAXATION REVENUE			
10-10-51000	Property Taxes	(4,754,115)	(4,754,324)	
10-10-51030	Railway	(6,856)	(6,856)	
10-10-51160	Grants in Lieu - Power Dams	(50,652)	(50,652)	
Total Taxation Revenues		(4,811,623)	(4,811,832)	
	Operating Grant Revenue			
10-10-51950	Province of Ontario	-	-	
10-10-52020	Province of Ontario - OMPF	(1,158,100)	(868,575)	
10-10-52025	Federal Grants	(4,800)	-	Canada Summer Jobs
10-10-52035	Grants, Donations, Fundraising	(7,000)	(5)	RIDE program grant
Total Operating Grant Revenues		(1,169,900)	(868,580)	
	Licenses			
10-50-53000	Animal Licenses	(1,500)	(452)	3-year average
10-10-53010	Lottery Licenses	(2,700)	(3,317)	3-year average
10-10-53015	Marriage Licencing & Officiating Rev.	(13,600)	(8,100)	3-year average
Total Licenses		(17,800)	(11,869)	
	Service Charges			
10-45-53500	Interest & Tax Penalties	(52,400)	(51,503)	Average of 12.6% of prior year arrears collected as interest
10-45-53510	NSF Cheque Fees	(400)	(188)	
10-45-53520	Interest Earned	(54,000)	(60,674)	Interest on bank accounts
10-10-53530	Eides Interest Earned-Ministry of Health Fund	-	-	loan repaid in 2023
10-50-53550	Provincial Offences	(1,800)	(400)	
10-50-53560	Policing Detachment Revenues	(6,900)	-	pending notification
10-50-53655	Parking Tickets/Court Fees	(100)	-	
Total Service Charges		(115,600)	(112,765)	
	General Government			
10-10-54000	Administration Funds	(6,100)	(42,508)	MFIPPA requests, tax sale fees, other misc (2024 incl demo fees)
10-65-57700	Municipal Logo Merchandise	(100)	(60)	logo merchandise
10-10-54010	Tax Certificates	(4,000)	(2,095)	3-year average
10-10-54030	Photocopies & Faxes & Oaths	(2,400)	(983)	3-year average
Total General Government		(12,600)	(45,646)	
	250 Clark Street			
10-12-57040	250 Clark-Sponsorships and Donations	(30,000)	(31,947)	Senior's grants
10-12-57041	250 Clark-Space/Room Rental	(35,500)	(22,778)	planning bd, agilis, EMS, other
10-12-57042	250 Clark-Program and Event Revenue	(47,700)	(43,028)	3-year average
10-12-57045	Fitness Centre @ 250 Clark	(43,800)	(43,408)	3-year average
10-12-57580	GAP Program Revenue	(27,500)	(29,664)	
Total 250 Clark		(184,500)	(170,825)	
	Protection to Persons and Property			
10-15-53030	Fire - Fees	(10,400)	(9,010)	3-year average
10-15-55040	Fire- MTO Calls	(23,100)	(16,108)	3-year average
10-15-55030	Fire- Letters and Inspections	(500)	(264)	3-year average
10-45-54550	911 Service	(600)	(390)	3-year average
10-15-54600	Nipissing Twp -fire agreement	(600)	(600)	
Total Protection Services		(35,200)	(26,372)	
	Building			
10-45-55000	Building Permits	(60,000)	(53,409)	per CBO estimate
10-45-55010	Building - Zoning Letters	(1,100)	(385)	3-year average
10-45-55020	Building - Work Orders	(1,300)	(945)	3-year average
Total Building		(62,400)	(54,739)	
	Transportation			
10-20-55500	Transportation	(33,600)	(12,120)	aggregate pmt, misc
Total Transportation		(33,600)	(12,120)	
	Environment			
10-25-56200	Enviro-Lift Charges	(25,900)	(16,516)	3-year average
10-25-56210	Enviro-Blue Boxes	-	-	
10-25-56220	Enviro - Tags	(1,900)	(1,946)	3-year average
10-25-56230	Enviro - Gate Receipts	(51,400)	(42,722)	3-year average
10-25-56240	Enviro - Billings	(117,100)	(81,048)	3-year average

ACCOUNT	DESCRIPTION	2025 BUDGET	2025 YTD (09/30)	NOTES
10-25-56260	WDO Rebates	(47,125)	(30,904)	Per RPRA allocation notice
10-25-56268	Electronic Stewardship Rebates	(1,000)	-	
Total Environment		(244,425)	(173,136)	
	Health Services			
10-60-56500	Medical Centre Rent	(18,000)	(13,500)	
Total Health Services		(18,000)	(13,500)	
	Cemetery			
10-85-56530	Cemetery - Service Revenue	(22,800)	(15,487)	3-year average
10-85-56540	Cemetery - Interest Income - C&M	(6,300)	(3,229)	
Total Cemetery		(29,100)	(18,716)	
	Social & Family Services			
10-65-57020	Trout Creek Seniors Hall	(1)	-	
10-65-57030	Legion-Revenue	(1)	-	
Total Social & Family Services		(2)	-	
	Recreation and Cultural Services			
10-55-52000	Province of Ontario - Recreation	(5,000)	(6,241)	Canada Day grant
10-55-57490	Recreation Activities	(20,000)	(15,369)	soccer, tball, ball hockey
10-55-57500	Park Rentals	(1,000)	(888)	
10-55-57510	Pool Revenue	(15,000)	(19,622)	
10-55-57550	Maple Syrup Festival	(35,900)	(32,262)	
10-55-57570	Donations	(5,000)	(31,458)	
Total Recreation & Cultural Services		(81,900)	(105,840)	
	Trout Creek Community Centre			
10-75-53700	Ice Rentals	(56,100)	(37,949)	
10-75-53710	Hall Rentals	(4,700)	(5,760)	
10-75-53740	Canteen Proceeds-Downstairs	(500)	(600)	rent
10-75-53750	Sign Rentals	(2,400)	(1,800)	
10-75-53810	Socials Revenue	(20,000)	(26,352)	TC carnival
10-75-53815	Bar Revenues	(3,800)	(5,496)	3-year average
Total TCCC Revenues		(87,500)	(77,957)	
	Sportsplex			
10-80-53700	Ice Rentals	(173,700)	(90,281)	
10-80-53710	Hall Rentals	(1,300)	(1,302)	
10-80-53750	Sign Rentals	-	-	
10-80-53720	Booth Rental	(500)	(388)	candy machine royalties
10-80-53830	Other Revenues	(32,000)	(17,301)	canteen sales
10-80-53850	Curling Club	(19,500)	(14,640)	
10-80-53856	Donations	(100)	-	
10-80-53786	Bar Revenue-Sportsplex	(19,200)	(11,182)	3-year average
Total Sportsplex Revenues		(246,300)	(135,095)	
	Planning & Economic Development			
10-70-58000	Planning Fees	(5,000)	(9,280)	
Total Planning and Economic Development		(5,000)	(9,280)	
Total Non-Tax Operating Revenues		(2,343,827)	(1,836,440)	
TOTAL OPERATING REVENUES		(7,155,450)	(6,648,271)	
	General Government			
10-10-61000	Council Salaries	47,100	34,577	
10-10-61020	Council - Other Expenses	5,200	4,836	mileage, courses, conference, etc
10-10-61030	Donations	2,500	2,373	
10-10-61050	Advertising	5,000	382	
10-10-61500	Administration Salaries	434,700	318,059	
10-10-61510	Admin-Benefits	36,900	24,319	
10-10-61520	Admin-RRSP/OMERS	40,400	23,899	
10-10-61530	Admin-Convention, Training	6,100	3,217	
10-10-61540	Admin-Office Supplies, Copies	11,200	5,320	
10-10-61545	Marriage Licencing & Officiating Exp.	4,000	480	cost of marriage licence forms
10-10-61550	Admin-Telephones, cells, internet	3,900	2,582	cell phones and internet
10-10-61560	Admin-Audit & Legal	44,600	17,859	3-year average
10-10-61570	Admin-Computers	97,700	55,859	IT support, licensing fees
10-10-61600	Admin-Postage/Courier/Copier	27,300	18,062	
10-10-61610	Admin-Heat & Hydro	10,800	8,949	

ACCOUNT	DESCRIPTION	2025 BUDGET	2025 YTD (09/30)	NOTES
10-10-61640	Admin-Office & Equipment Maintenance	2,000	634	
10-10-61650	Admin-Insurance	18,700	18,339	
10-10-61660	Admin-Bank Charges & Interest	9,000	5,645	
10-10-61670	Admin-Financial - Taxes Written Off	10,900	6,576	Taxes on municipally-owned properties
10-10-61675	Uncollectable Debt	2,000	-	
10-10-61690	MPAC	55,713	41,785	per levy notification
10-10-61730	Memberships & Association Dues	5,500	4,336	AMCTO, AMO, MFOA, etc.
10-10-68410	B.I.A. - Material/Supplies	6,100	2,102	
Total General Government Expenses		887,313	600,186	
250 Clark				
10-12-61500	250 Clark-Labour	103,700	66,154	increase due to SALC program
10-12-61525	250 Clark-Janitorial Expense	10,800	4,692	
10-12-61641	250 Clark-Building Maintenance	25,000	11,692	
10-12-61650	250 Clark-Insurance	27,900	27,420	
10-12-61753	250 Clark-Utilities	37,400	26,822	
10-12-61754	250 Clark- Program Expenses	38,200	21,510	
10-12-61755	250 Clark-Sponsored Program Expenses	36,000	25,634	Senior's Active Living Centre
10-12-61757	Fitness Centre @ 250 Clark Expense	3,400	2,443	
10-12-67510	GAP Program Labour	22,500	22,500	
10-12-67520	GAP Program Expense	2,500	813	
Total 250 Clark Expenses		307,400	209,680	
Fire Department				
10-15-61500	Fire Wages	150,800	117,926	per detailed calculation. 2025 includes 50% of PSO wages
10-15-62000	Fire Dept. - Answering Service	3,400	1,420	
10-15-62010	Fire Dept.- Maintenance	58,600	47,715	
10-15-62020	Fire Department - Insurance	35,100	35,425	
10-15-62030	Fire Dept. - Trucks	17,000	9,543	fuel, repairs, licenses etc.
10-15-62040	Fire Dept. - Equipment	28,100	13,272	bunker gear, gloves, coveralls, lights, nozzles, foam
10-15-62050	Fire Dept.- Gratuity/Wardens	52,175	-	
10-15-62060	Fire Prevention	3,000	1,294	
10-15-62061	Fire Dept- Training	10,000	5,113	
10-15-62064	Fire Hydrants & Maintenance	15,000	-	replace 3 hydrants
Total Fire Department Expenses		373,175	231,707	
Protection to Persons and Property				
10-50-62500	Policing - OPP	488,044	325,360	per levy notification
10-50-62510	Police Services Board	9,000	-	includes RIDE program costs
10-50-62555	911 and Signage	2,500	2,198	
10-50-61500	Emergency Management- CEMC	41,800	31,187	per detailed calculation. 50% PSO
10-50-62600	Animal Control	5,500	814	
10-50-62585	By-Law/Property Standards Expense	4,900	4,362	
10-45-61500	Building Inspector	139,100	101,172	per detailed calculation
10-45-62710	Building Inspector - Mat/Supplies	6,300	4,979	training & conferences, forms, etc
10-45-62715	CBO/Office Vehicle Expense	3,500	668	cbo/office vehicle-gas, maintenance
Total Protection Expenses		700,644	470,739	
Transportation Services				
10-20-63000	Street Lighting-Labour/Cont.Serv.	34,700	31,196	contract price- ends Oct 2025
10-20-63010	Street Lighting - Mat/Supplies	6,400	6,622	
10-20-63020	Street Lighting - Power	17,700	10,352	inflationary increase over actuals
10-20-63040	Public Works - Training & Development	15,000	7,827	incl health & safety training, driver training, OGRA, CRS
10-20-61500	Public Works - Labour Expenses	567,900	444,326	per detailed calculation
10-20-63060	Public Works - Mat/Supplies	77,600	74,207	insurance, other miscellaneous
10-20-63062	Public Works Buildings Utilities	18,600	14,096	inflationary increase over actuals
10-20-63065	Public Works Admin. Mat/Supplies	7,500	7,739	
10-20-63070	Public Works-Health and Safety supplies	6,300	2,332	
10-20-63075	Public Works- Fuel	100,000	60,284	
10-20-63110	Sidewalks - Mat/Supplies	5,000	617	maintenance & rehabilitation
10-20-63210	Bridges & Culverts - Mat/Supplies	19,000	2,622	replacement of culverts 17k, beaver trapping 2k; 2024 included OSIM
10-20-63230	Brushing - Materials/Supplies	19,000	2,745	roadside mowing 8k, brushing 11k
10-20-63270	Roadside Maintenance - Mat/Supplies	23,500	13,591	ditching, signage, other
10-20-63320	Hardtop Maintenance - Mat/Supplies	59,000	8,411	cold patching 24k, sweeping 35k
10-20-63370	Loose Top Maintenance-Mat/Supplies	143,300	129,026	dust control, gravel stockpile

ACCOUNT	DESCRIPTION	2025 BUDGET	2025 YTD (09/30)	NOTES
10-20-63420	Winter Control - Mat/Supplies	95,300	117,629	salt, sand, plowing
10-20-63470	Safety Devices/CN - Mat/Supplies	29,000	24,092	reg monthly fees
10-20-63520	2011 Freightliner - Mat/Supplies	18,500	19,162	
10-20-63540	2015 GMC 4X4 Truck -mat /supplies	4,500	2,743	needs new tires (~\$2,000)
10-20-63560	2013 Freightliner Truck - Mat/Supp	25,400	27,748	
10-20-63580	2019 3/4 ton GMC-Mat/supp	2,500	3,295	
10-20-63600	2015 GMC Truck - Mat/Supp	3,800	4,627	2024 replaced transmission
10-20-63626	Backhoe-CAT 420-material/supplies	8,700	5,989	needs new forks (~\$5k)
10-20-63640	96 Backhoe - Materials/Supplies	2,500	1,487	
10-20-63660	22 Grader - Mat/Supplies	11,000	4,360	
10-20-63700	Steamer - Materials/Supplies	1,500	-	
10-20-63710	Trackless - New - Material/Supplies	5,000	2,629	
10-20-63720	Trackless - Sidewalk Sander- Mat/Supplies	19,800	11,844	to repair hydraulic, radiator issues
10-20-63740	Lawn Equipment - Material/Supplies	7,000	3,762	needs new tires (~\$2,000)
10-20-63760	Other Equipment - Mat/Supplies	3,000	-	
10-20-63780	2014 Freightliner - Mat/Supplies	19,500	10,022	
10-20-63820	Downtown - Materials/Supplies	1,000	417	flower baskets, signs
10-50-63900	Crossing Guard - Labour / Benefits	5,200	-	
Total Transportation Services		1,383,700	1,055,798	
Environmental Services				
10-50-64730	NB Mattawa Conservation Levy	417	393	per levy notification
10-25-64810	Garbage Collection - Mat/Supplies	2,000	1,541	
10-25-64830	Garbage Vehicle Expense	17,800	10,145	
10-25-61500	Waste Management - Labour	144,300	96,193	
10-25-64910	Landfill Site - Material/Supplies	53,000	7,754	grinding, cover material, glass bin
10-25-64920	Landfill Site Equipment Expenses	40,100	10,357	rental equipment costs
10-20-63620	710 Backhoe - Material/Supplies	23,000	2,016	needs hydraulic repairs (18k)
10-25-64930	Hazardous Waste	5,524	5,524	per levy notification
10-25-64940	Recycling Program	146,400	95,591	approx \$12,200 per month
10-25-64965	Landfill Site Maintenance as per C of A	67,400	28,734	Knight Piesold, SGS
Total Environmental Services		499,941	258,250	
Health Services				
10-60-65000	Health Unit	116,465	87,349	per levy notification
10-60-65220	Land - Ambulance	124,238	93,179	per levy notification
10-70-68045	Medical Centre -Powassan Town Square	81,700	42,035	
10-60-65350	North Bay Regional Health Centre	37,359	-	2026 final year
10-85-65110	Cemetery - Service Materials-Interment	7,800	1,334	
10-85-65130	Cemetery- Maintenance Material	3,500	3,616	tree removal, headstone maint.
Total Health Services		371,062	227,512	
Social & Family Services				
10-60-66100	District Social Services DSSAB	163,330	122,497	per levy notification
10-60-66200	Eastholme - Levy	131,332	98,499	per levy notification
Total Social & Family Services		294,662	220,996	
Recreation & Cultural Services				
10-55-67005	Playground Inspection Expense	500	-	
10-55-67010	Parks - Material/Supplies	15,100	15,169	
10-55-67020	Parks - Canada Day	5,000	6,810	
10-55-67030	Playground Equipment	1,000	-	misc costs
10-55-67100	Pool - Labour	33,700	30,201	
10-55-67110	Pool - Material and Supplies	15,000	6,594	
10-55-67112	Pool Utilities	14,600	4,463	hydro, gas, water/sewer
10-55-67115	Pool Chemicals	5,000	-	
10-55-67210	Outdoor Rink - Materials/Supplies	1,000	-	
10-55-67310	Beach - Material/Supplies	1,000	-	
10-55-67410	S.H.C.C. Materials/Supplies	6,700	5,693	misc costs
10-55-67500	Recreation - Fund Raising	500	-	
10-55-67610	Recreation - General Exp.- Mat/Supplies	500	372	
10-55-67650	Recreation Buildings. - Repair & Maint	3,000	40	
10-55-67920	Recreation-Activities Expenses	12,900	4,438	soccer, tball, new years
10-65-66030	TC Seniors Hall	2,700	2,393	misc costs (2024 incl handrail)
10-55-61052	Maple Syrup Festival expenses	41,475	24,711	per draft budget
10-65-67800	Library Levy	141,617	106,213	per draft budget
10-65-67680	Legion Building Labour/Mat/Supplies	25,800	24,960	insurance, gas, hydro
10-65-61725	Municipal Logo Merchandise expense	1,000	-	
Total Recreation & Cultural Services		328,092	232,058	
Trout Creek Community Centre				

ACCOUNT	DESCRIPTION	2025 BUDGET	2025 YTD (09/30)	NOTES
10-75-61500	TCCC Salaries	-	-	budgeted with Sportsplex
10-75-61800	Supplies	4,000	2,710	
10-75-61820	Maintenance	29,300	11,540	2024 replaced transmission
10-75-61610	Hydro	35,800	29,275	
10-75-61620	Natural Gas	6,800	4,381	
10-75-61550	Telephone	3,300	2,923	
10-75-61650	TCCC Insurance	15,600	15,326	
10-75-61840	Socials Expense - Spring	10,600	5,170	carnival excl staff wages
10-75-61865	Bar Expenses	5,000	1,454	
10-75-61870	Fees	1,000	270	
Total TCCC Expenses		111,400	73,049	
Sportsplex				
10-80-61500	Salaries	317,700	174,836	
10-80-61510	Benefits	11,400	6,873	
10-80-61910	Clothing Allowance	1,000	70	
10-80-61610	Hydro	119,600	59,445	
10-80-61620	Heat-Natural Gas	22,100	13,411	
10-80-61850	Canteen- Supplies	14,500	6,120	
10-80-61920	Water and Sewer	8,800	6,631	
10-80-61930	Zamboni-Repairs & Maintenance	14,800	12,017	requires additional servicing
10-80-61940	Equipment Repairs and Maintenance	26,500	1,416	
10-80-61945	Equipment Supplies	1,000	469	
10-80-61950	Building-Repairs and Maintenance	45,000	14,320	
10-80-61960	Building-Supplies	5,000	4,991	
10-80-61650	Insurance	33,900	33,254	
10-80-61970	Mat Rentals	600	250	
10-80-61982	Bar supplies /expenses	13,500	3,845	
10-80-61550	Telephone	250	172	
10-80-61555	Office Expenses	4,000	2,562	
10-80-61985	Staff training	4,300	700	
Total Sportsplex Expenses		643,950	341,382	
Planning & Economic Development				
10-70-68005	Planning Consultants	10,000	6,023	
10-70-68010	Planning & Development - Mat/Supp	18,200	13,269	CGIS \$17,200; public notices, training, other misc \$1,000
10-70-68020	Green Plan	321	321	LAS Energy Planning tool
Total Planning & Economic Development		28,521	19,613	
Debt Repayment				
10-10-61875	Term Loan- Principal	71,424	53,568	Final payment October 2028
10-10-61876	Term Loan- Interest	13,742	10,535	
10-10-61775	OSIFA Capital Loan Principal	90,217	90,217	Final payment 2036
10-10-61780	OSIFA Capital Loan Interest	25,838	26,582	
10-12-61756	250 Clark Loan Payments- Principal	61,105	34,544	Final payment 2048
10-10-61751	250 Clark Loan Payments- Interest	71,568	39,182	
10-15-62072	Fire Hall Loan Payment- Principal	36,300	19,054	Final payment 2048
10-15-62073	Fire Hall Loan Payment- Interest	45,794	23,965	
10-15-62075	Fire Rescue Loan- Principal	30,000	22,500	Final payment July 2026
10-15-62076	Fire Rescue Loan- Interest	2,093	1,664	
10-20-63815	2022 Grader Loan Principal	56,707	42,259	Final payment September 2029
10-20-63816	2022 Grader Loan Interest	17,224	13,189	
10-25-64880	Compactor Loan- Principal	19,762	14,821	Final payment May 2026
10-25-64885	Compactor Loan- Interest	1,174	941	
10-75-61883	RINC Project-Loan Principal Expense	-	-	Repaid in 2024
10-75-61884	RINC Project-Loan Interest Expense	-	-	
10-80-61883	Construction Loan Principal	-	-	Repaid in 2024
10-80-61884	Construction Loan Interest	-	-	
Total Debt Repayment		542,948	393,023	
Operating Reserve Transfers				
10-10-63875	Transfer to Reserve - Election	6,250	6,250	per reserve fund policy
10-10-61700	Transfer to Reserve - Operating Contingency	8,200	8,200	per reserve fund policy
10-20-63885	Transfer to Reserve - Accrued Pit Closure Costs	1,288	1,288	
10-20-63880	Transfer to Reserve - Infrastructure Renewal	52,100	45,000	2% of rental revenues plus 45,000 re: Hummel Bridge replacement
10-20-63865	Transfer to Reserve - Water Loan Repayment	75,000	-	
10-25-64950	Landfill - Accrued Closure Costs	-	-	cost TBD
Total Operating Reserve Transfers		142,838	60,738	

ACCOUNT	DESCRIPTION	2025 BUDGET	2025 YTD (09/30)	NOTES
	TOTAL OPERATING EXPENDITURES	6,615,646	4,394,731	
	NET OPERATING REVENUE- AVAILABLE FOR CAPITAL	(539,804)	(2,253,540)	MINIMUM SPEND: \$516,941
	Capital Revenues			
10-10-99999	Prior Year Deficit (Surplus)	-		
				OCIF 60,300; NORDS 133,900; Trillium 170,500; ICIP 54,900;
10-10-51950	Province of Ontario	(586,600)	(124,618)	NOHFC 167,000
10-10-52025	Federal Grants	(91,525)	-	ICIP 65,900; TD 7,150; EAF 18,475
10-10-53525	Insurance Proceeds	(31,300)	-	TC fire hall repairs
10-20-52040	Federal Grants - Infrastructure-Gas Tax	(316,100)	-	balance of Hunt Line culvert
10-10-53650	Loan Proceeds- General Government	-	-	no new debt in 2025
10-10-54060	Sale of Equipment	-	-	
10-10-54510	Transfer From Reserves	-	-	
10-15-53035	Fire Grant/Donations	(33,400)	(16,823)	CEPG/Fire Protection Grant
	Total Capital Revenues	(1,058,925)	(141,441)	
	Capital Projects			
10-10-61055	Grant Expenses-modernization & efficiencies	-	-	
				replace PCs, server, switches; new website
10-10-61680	Admin-Office Capital	57,100	-	
10-10-61685	Reorganization Expenses	-	-	
10-70-68140	Official Plan Development	5,900	2,853	per estimate received
	250 Clark			
10-12-61680	250 Clark-Building Capital	73,900	-	accessibility lift
10-12-61758	Fitness Centre- Equipment Capital	-	-	
	Fire Department			
				fill station for SCBA, baliclavas and hoods; pagers, radios, training;
10-15-62070	Capital - Fire Department	79,300	48,609	insurance claim on TC hall
	Transportation			
10-20-63080	Public Works - Reports and Studies	-	-	
10-20-63240	Capital- Bridges & Culverts	60,300	-	Hummel Bridge engineering
10-20-63375	Loose Top Maintenance- Gravel Resurfacing	-	-	
10-20-63860	Capital - Materials/Supplies	-	-	
10-20-63890	Capital	-	-	
10-20-63895	Capital-Gas Tax Projects	450,000	25,023	Hunt Line culvert
	Environmental Services			
10-25-64840	Garbage - Capital	-	-	
10-25-64860	Landfill- Capital	-	-	
	Recreation Services			
				Hydro Pond dock 10,900; TC Playground 189,400; pool 175,500;
10-55-67900	Recreation-Major Projects	615,900	320,590	trees 8,000; SHCC 130,700; buildings 101,400
10-75-61880	TCCC Capital	55,000	14,900	engineering; other misc capital
10-80-61880	Sportsplex Capital	30,000	1,985	lights; other misc capital
	Total Capital Projects	1,427,400	413,960	
	Net Reserve Transfers			
10-15-62080	Fire Dept.- Transfer to Reserve	-	-	
10-10-61710	Transfer to Reserve - Working Capital	16,329	16,329	budget balancing figure
10-10-61700	Transfer for Reserve - Operating Contingency	-	-	
10-20-63880	Transfer to Reserve - Infrastructure Renewal	155,000	155,000	towards replacement of plow truck
10-80-99999	Surplus/Deficit Account	-	-	
	Total Reserve Transfers	171,329	171,329	
	NET CAPITAL EXPENDITURES	539,804	443,849	
	BALANCE	-	(1,809,691)	

Council Briefing Note – Municipal Maintenance Standards

Date: November 18, 2025

To: Mayor and Council

From: Manager of Operations

Subject: Endorsement of Ontario Regulation 239/02 – Minimum Maintenance Standards (MMS)

Purpose

To present Council with a revised bylaw endorsing Ontario Regulation 239/02 – Minimum Maintenance Standards for Municipal Highways (MMS). This endorsement establishes a clear, provincially aligned framework for road and sidewalk maintenance and supports the development of the Municipality of Powassan's full Winter Maintenance Plan.

Background

Ontario Regulation 239/02 sets out expectations for municipal winter and road maintenance, including patrolling, snow accumulation management, icy road treatment, sidewalk clearing, pothole response, and signage requirements. Municipalities that formally adopt and implement MMS have access to the statutory defence under Section 44(3)(c) of the Municipal Act, 2001.

Analysis

Endorsing the MMS provides Council, staff, and the public with a clear standard of care formulated in provincial legislation. The MMS ensure maintenance activities are performed in a structured, defensible manner and establish transparent expectations for response timelines. This endorsement also provides the foundation upon which the Municipality of Powassan's full Winter Maintenance Plan is being developed.

A standalone MMS Operational Overview document has been prepared to accompany the bylaw. This overview explains MMS responsibilities and outlines general strategies for how they will be implemented in our Municipality's upcoming Winter Maintenance Plan.

Financial Impact

There are no significant new expenditures anticipated as municipal operations already align closely with MMS expectations. Endorsement primarily formalizes existing practices and strengthens risk management.



Recommendation (Motioned in bylaw)

THAT Council adopts the revised bylaw endorsing Ontario Regulation 239/02 – Minimum Maintenance Standards as the Municipality’s official minimum maintenance standard; and THAT the MMS Operational Overview be accepted for information and referenced during development of the full Winter Maintenance Plan.

Attachments

- MMS Operational Overview (Updated)
- Revised MMS Endorsement Bylaw
- Ontario Regulation 239/02 (MMS)
- Schedule B – Municipal Road Classifications

Minimum Maintenance Standards (MMS) – Operational Overview

Prepared: November 18, 2025

Prepared for Council Information

Prepared by: Manager of Operations

1. Purpose

This document provides a high-level overview of Ontario Regulation 239/02 – Minimum Maintenance Standards for Municipal Highways (MMS). It explains the purpose of the MMS, why endorsement is important, and how these standards guide municipal winter maintenance programs. A full Winter Maintenance Plan is currently being developed and will include detailed procedures, routing maps, tracking tools, and operational protocols.

2. Legislative Framework

Ontario Regulation 239/02 establishes outcome-based expectations for municipal road and sidewalk maintenance. The regulation includes standards for patrolling, snow accumulation, ice formation, potholes, surface discontinuities, debris removal, shoulder drop-offs, and traffic sign maintenance.

Meeting the MMS provides a municipality with a statutory defence under Section 44(3)(c) of the Municipal Act, 2001 when responding to claims related to roadway conditions.

3. Overview of MMS Responsibilities

The MMS outline clear responsibilities regarding monitoring, awareness, and timely response to weather events and road conditions. The regulation provides outcome requirements but does not prescribe the operational methods used to achieve them. Municipalities retain full flexibility to design procedures that meet the required outcomes.

4. Examples of MMS Requirements

- Patrolling / Awareness – Municipalities must maintain awareness of road conditions through patrols or weather monitoring systems.
- Snow Accumulation – Roads must be cleared within a prescribed timeframe once snow accumulation exceeds the allowable depth.

- Icy Road Treatment – Ice must be treated within regulated timelines once the municipality becomes aware of the condition.
- Sidewalk Clearing – Snow on sidewalks must be reduced to no more than 8 cm within 48 hours after the end of a snowfall event.
- Roadway Defects – Potholes, cracks, and shoulder drop-offs must be addressed within severity- and class-specific timelines.
- Regulatory Sign Maintenance – Signs must be maintained in a state of good repair and visibility.

5. Importance of Endorsing the MMS

Endorsing the MMS reinforces the municipality's commitment to maintaining a safe and reliable transportation network. It provides a clear, provincially aligned benchmark for maintenance activities and strengthens the municipality's legal defensibility when responding to roadway condition claims.

6. Winter Maintenance Plan in Development

A full Winter Maintenance Plan is under development and will outline specific procedures for patrols, plowing, sanding and salting, equipment deployment, staff scheduling, significant weather event management, communication protocols, and recordkeeping.

7. Supporting Documents (Provided Separately)

- Appendix A – Ontario Regulation 239/02 – Minimum Maintenance Standards (Full Text)
- Appendix B – Schedule B: Municipal Road Classifications (In Review)

8. Items to Be Implemented in the Final Winter Maintenance Plan

The following strategies represent key components that will be incorporated into the forthcoming full Winter Maintenance Plan. These items will ensure compliance with MMS expectations while reflecting the Municipality's operational context:

- Detailed Route Maps – Including plow beats, sanding/salting routes, sidewalk sections, and priority routes based on MMS road class.
- Patrol Structure – A finalized schedule for early morning, daytime, and storm patrols, along with designated responsibilities and reporting expectations.
- Weather Monitoring Protocol – Clear procedures for tracking Environment Canada alerts, radar, MTO 511, and local observations.
- Snow and Ice Response Procedures – Step-by-step instructions for snow accumulation response, surface treatment, and centre-bare restoration.

- Sidewalk Operations Plan – Identification of maintained sidewalks, routing maps, equipment assignments, and response expectations.
- Equipment Readiness and Maintenance Program – Pre-season inspection and calibration procedures, spare parts inventory, and operational readiness protocols.
- Significant Weather Event Protocol – Criteria for declaration, communication methods, responsibilities, and suspension/resumption of standard timelines.
- Documentation Standards – Standard forms, digital tools, patrol logs, operator notes, and record retention requirements.
- Staff Training Modules – Annual MMS training, equipment training, operational updates, and recordkeeping expectations.
- Continuous Improvement Framework – Post-season review procedures, performance metrics, and annual updates to routes, maps, and procedures.

These components will collectively form Powassan's comprehensive Winter Maintenance Plan, ensuring operations remain effective, defensible, and fully aligned with the MMS.

THE CORPORATION OF THE MUNICIPALITY OF POWASSAN

BYLAW NO. 2025-XX

WHEREAS, Section 8 of the Municipal Act, 2001 S.O. 2001 C.25 as amended, states that: ‘Powers of a natural person - A Municipality has the capacity, rights, powers and privileges of a natural person for the purpose of exercising its authority under this or any other Act’;

AND WHEREAS, Section 26 of the Municipal Act, 2001 S.O. 2001 C.25 as amended, states “What constitutes a highway”;

AND WHEREAS, Section 27 (I) of the Municipal Act, 2001 S.O. 2001 C.25 as amended provides that: A municipality may pass bylaws in respect of a highway only if it has jurisdiction over the highway.

AND WHEREAS, Ontario Regulation 239/2002 made under the Municipal Act, 2001 S.O. 2001 C.25 as amended, has established Minimum Maintenance Standards for Municipal Highways;

AND WHEREAS, Ontario Regulation 239/2002 made under the Municipal Act, 2001 S.O. 2001 C.25 as amended has established a Table of Classification of Highways;

NOW THEREFORE, the Council of the Corporation of the Municipality of Powassan, enacts as follows:

1. THAT Ontario Regulation 239/02 – Minimum Maintenance Standards for Municipal Highways, as established under the Municipal Act, 2001, be hereby endorsed as the Municipality of Powassan’s official minimum maintenance standard for municipal roads and sidewalks.
2. THAT the MMS Operational Overview (2025), attached for information, shall be used as a guiding reference document until such time as the Municipality adopts a full Winter Maintenance Plan incorporating the requirements of Ontario Regulation 239/02.
3. THAT Schedule “B” Municipal Road Classifications, as updated and maintained by the Municipality, shall be utilized for determining roadway classes for the purpose of interpreting and applying the MMS.
5. THAT the Clerk has delegated authority to update and maintain Schedule “B” Municipal Road Classifications as required for Municipal requirements and to ensure compliance with all relevant legislation.
6. THAT nothing in this Bylaw prevents the Municipality from exceeding the MMS where operational capacity, public safety, or emergency conditions require it.
7. THAT this Bylaw shall come into force and take effect on the day of passing thereof.

READ a **FIRST** and **SECOND** time on the day of 2025 and to be **READ** a **THIRD** and **FINAL** time and considered passed as such in open Council on the day of 2025.

THE CORPORATION OF THE MUNICIPALITY OF POWASSAN

Mayor

Clerk

Municipal Act, 2001

Loi de 2001 sur les municipalités

[ONTARIO REGULATION 239/02](#)

MINIMUM MAINTENANCE STANDARDS FOR MUNICIPAL HIGHWAYS

CURRENT Consolidation period: May 3, 2018 - e-Laws currency date (November 5, 2025)

Last amendment: [366/18](#).

This Regulation is made in English only.

Legislative History

Definitions

1. (1) In this Regulation,

“bicycle facility” means the on-road and in-boulevard cycling facilities listed in Book 18 of the Ontario Traffic Manual;

“bicycle lane” means,

(a) a portion of a roadway that has been designated by pavement markings or signage for the preferential or exclusive use of cyclists, or

(b) a portion of a roadway that has been designated for the exclusive use of cyclists by signage and a physical or marked buffer;

“cm” means centimetres;

“day” means a 24-hour period;

“encroachment” means anything that is placed, installed, constructed or planted within the highway that was not placed, installed, constructed or planted by the municipality;

“ice” means all kinds of ice, however formed;

“motor vehicle” has the same meaning as in subsection 1 (1) of the *Highway Traffic Act*, except that it does not include a motor assisted bicycle;

“non-paved surface” means a surface that is not a paved surface;

“Ontario Traffic Manual” means the Ontario Traffic Manual published by the Ministry of Transportation, as amended from time to time;

“paved surface” means a surface with a wearing layer or layers of asphalt, concrete or asphalt emulsion;

“pothole” means a hole in the surface of a roadway caused by any means, including wear or subsidence of the road surface or subsurface;

“roadway” has the same meaning as in subsection 1 (1) of the *Highway Traffic Act*;

“shoulder” means the portion of a highway that provides lateral support to the roadway and that may accommodate stopped motor vehicles and emergency use;

“sidewalk” means the part of the highway specifically set aside or commonly understood to be for pedestrian use, typically consisting of a paved surface but does not include crosswalks, medians, boulevards, shoulders or any part of the sidewalk where cleared snow has been deposited;

“significant weather event” means an approaching or occurring weather hazard with the potential to pose a significant danger to users of the highways within a municipality;_

“snow accumulation” means the natural accumulation of any of the following that, alone or together, covers more than half a lane width of a roadway:

1. Newly-fallen snow.
2. Wind-blown snow.
3. Slush;

“substantial probability” means a significant likelihood considerably in excess of 51 per cent;

“surface” means the top of a sidewalk, roadway or shoulder;

“utility” includes any air, gas, water, electricity, cable, fiber-optic, telecommunication or traffic control system or subsystem, fire hydrants, sanitary sewers, storm sewers, property bars and survey monuments;

“utility appurtenance” includes maintenance holes and hole covers, water shut-off covers and boxes, valves, fittings, vaults, braces, pipes, pedestals, and any other structures or items that form part of or are an accessory part of any utility;

“weather” means air temperature, wind and precipitation.

“weather hazard” means the weather hazards determined by Environment Canada as meeting the criteria for the issuance of an alert under its Public Weather Alerting Program. O. Reg. 239/02, s. 1 (1); O. Reg. 23/10, s. 1 (1); O. Reg. 47/13, s. 1; O. Reg. 366/18, s. 1 (1, 2).

(2) For the purposes of this Regulation, every highway or part of a highway under the jurisdiction of a municipality in Ontario is classified in the Table to this section as a Class 1, Class 2, Class 3, Class 4, Class 5 or Class 6 highway, based on the speed limit applicable to it and the average daily traffic on it. O. Reg. 239/02, s. 1 (2); O. Reg. 366/18, s. 1 (3).

(3) For the purposes of subsection (2) and the Table to this section, the average daily traffic on a highway or part of a highway under municipal jurisdiction shall be determined,

(a) by counting and averaging the daily two-way traffic on the highway or part of the highway; or

(b) by estimating the average daily two-way traffic on the highway or part of the highway. O. Reg. 239/02, s. 1 (3); O. Reg. 23/10, s. 1 (2); O. Reg. 366/18, s. 1 (3).

(4) For the purposes of this Regulation, unless otherwise indicated in a provision of this Regulation, a municipality is deemed to be aware of a fact if, in the absence of actual

knowledge of the fact, circumstances are such that the municipality ought reasonably to be aware of the fact. O. Reg. 366/18, s. 1 (4).

TABLE
CLASSIFICATION OF HIGHWAYS

Column 1 Average Daily Traffic (number of motor vehicles)	Column 2 91 - 100 km/h speed limit	Column 3 81 - 90 km/h speed limit	Column 4 71 - 80 km/h speed limit	Column 5 61 - 70 km/h speed limit	Column 6 51 - 60 km/h speed limit	Column 7 41 - 50 km/h speed limit	Column 8 1 - 40 km/h speed limit
53,000 or more	1	1	1	1	1	1	1
23,000 - 52,999	1	1	1	2	2	2	2
15,000 - 22,999	1	1	2	2	2	3	3
12,000 - 14,999	1	1	2	2	2	3	3
10,000 - 11,999	1	1	2	2	3	3	3
8,000 - 9,999	1	1	2	3	3	3	3
6,000 - 7,999	1	2	2	3	3	4	4
5,000 - 5,999	1	2	2	3	3	4	4

4,000 - 4,999	1	2	3	3	3	4	4
3,000 - 3,999	1	2	3	3	3	4	4
2,000 - 2,999	1	2	3	3	4	5	5
1,000 - 1,999	1	3	3	3	4	5	5
500 - 999	1	3	4	4	4	5	5
200 - 499	1	3	4	4	5	5	6
50 - 199	1	3	4	5	5	6	6
0 - 49	1	3	6	6	6	6	6

O. Reg. 366/18, s. 1 (5).

Application

2. (1) This Regulation sets out the minimum standards of repair for highways under municipal jurisdiction for the purpose of clause 44 (3) (c) of the Act. O. Reg. 288/03, s. 1.

(2) REVOKED: O. Reg. 23/10, s. 2.

(3) This Regulation does not apply to Class 6 highways. O. Reg. 239/02, s. 2 (3).

Purpose

2.1 The purpose of this Regulation is to clarify the scope of the statutory defence available to a municipality under clause 44 (3) (c) of the Act by establishing maintenance standards which are non-prescriptive as to the methods or materials to be used in complying with the standards but instead describe a desired outcome. O. Reg. 366/18, s. 2.

MAINTENANCE STANDARDS

Patrolling

3. (1) The standard for the frequency of patrolling of highways to check for conditions described in this Regulation is set out in the Table to this section. O. Reg. 23/10, s. 3 (1); O. Reg. 366/18, s. 3 (2).

(2) If it is determined by the municipality that the weather monitoring referred to in section 3.1 indicates that there is a substantial probability of snow accumulation on roadways, ice formation on roadways or icy roadways, the standard for patrolling highways is, in addition to that set out in subsection (1), to patrol highways that the municipality selects as representative of its highways, at intervals deemed necessary by the municipality, to check for such conditions. O. Reg. 47/13, s. 2; O. Reg. 366/18, s. 3 (2).

(3) Patrolling a highway consists of observing the highway, either by driving on or by electronically monitoring the highway, and may be performed by persons responsible for patrolling highways or by persons responsible for or performing highway maintenance activities. O. Reg. 23/10, s. 3 (1).

(4) This section does not apply in respect of the conditions described in section 10, subsections 11 (0.1) and 12 (1) and section 16.1, 16.2, 16.3 or 16.4. O. Reg. 23/10, s. 3 (1); O. Reg. 366/18, s. 3 (3).

TABLE
PATROLLING FREQUENCY

Class of Highway	Patrolling Frequency
1	3 times every 7 days
2	2 times every 7 days
3	once every 7 days
4	once every 14 days
5	once every 30 days

O. Reg. 239/02, s. 3, Table; O. Reg. 23/10, s. 3 (2).

Weather monitoring

3.1 (1) From October 1 to April 30, the standard is to monitor the weather, both current and forecast to occur in the next 24 hours, once every shift or three times per calendar day,

whichever is more frequent, at intervals determined by the municipality. O. Reg. 47/13, s. 3; O. Reg. 366/18, s. 4.

(2) From May 1 to September 30, the standard is to monitor the weather, both current and forecast to occur in the next 24 hours, once per calendar day. O. Reg. 47/13, s. 3; O. Reg. 366/18, s. 4.

Snow accumulation, roadways

4. (1) Subject to section 4.1, the standard for addressing snow accumulation on roadways is,

(a) after becoming aware of the fact that the snow accumulation on a roadway is greater than the depth set out in the Table to this section, to deploy resources as soon as practicable to address the snow accumulation; and

(b) after the snow accumulation has ended, to address the snow accumulation so as to reduce the snow to a depth less than or equal to the depth set out in the Table within the time set out in the Table,

(i) to provide a minimum lane width of the lesser of three metres for each lane or the actual lane width, or

(ii) on a Class 4 or Class 5 highway with two lanes, to provide a total width of at least five metres. O. Reg. 47/13, s. 4; O. Reg. 366/18, s. 5 (1).

(2) If the depth of snow accumulation on a roadway is less than or equal to the depth set out in the Table to this section, the roadway is deemed to be in a state of repair with respect to snow accumulation. O. Reg. 47/13, s. 4.

(3) For the purposes of this section, the depth of snow accumulation on a roadway and, if applicable, lane width under clause (1) (b), may be determined in accordance with subsection (4) by a municipal employee, agent or contractor, whose duties or responsibilities include one or more of the following:

1. Patrolling highways.

2. Performing highway maintenance activities.

3. Supervising staff who perform activities described in paragraph 1 or 2. O. Reg. 47/13, s. 4; O. Reg. 366/18, s. 5 (2).

(4) The depth of snow accumulation on a roadway and lane width may be determined by,

(a) performing an actual measurement;

(b) monitoring the weather; or

(c) performing a visual estimate. O. Reg. 47/13, s. 4; O. Reg. 366/18, s. 5 (3).

- (5) For the purposes of this section, addressing snow accumulation on a roadway includes,
- (a) plowing the roadway;
 - (b) salting the roadway;
 - (c) applying abrasive materials to the roadway;
 - (d) applying other chemical or organic agents to the roadway;
 - (e) any combination of the methods described in clauses (a) to (d). O. Reg. 366/18, s. 5 (4).
- (6) This section does not apply to that portion of the roadway,
- (a) designated for parking;
 - (b) consisting of a bicycle lane or other bicycle facility; or
 - (d) used by a municipality for snow storage. O. Reg. 366/18, s. 5 (4).

TABLE
SNOW ACCUMULATION - ROADWAYS

Class of Highway	Depth	Time
1	2.5 cm	4 hours
2	5 cm	6 hours
3	8 cm	12 hours
4	8 cm	16 hours
5	10 cm	24 hours

O. Reg. 47/13, s. 4; O. Reg. 366/18, s. 5 (5).

Snow accumulation on roadways, significant weather event

4.1 (1) If a municipality declares a significant weather event relating to snow accumulation, the standard for addressing snow accumulation on roadways until the declaration of the end of the significant weather event is,

- (a) to monitor the weather in accordance with section 3.1; and

(b) if deemed practicable by the municipality, to deploy resources to address snow accumulation on roadways, starting from the time that the municipality deems appropriate to do so. O. Reg. 366/18, s. 7.

(2) If the municipality complies with subsection (1), all roadways within the municipality are deemed to be in a state of repair with respect to snow accumulation until the applicable time in the Table to section 4 expires following the declaration of the end of the significant weather event by the municipality. O. Reg. 366/18, s. 7.

(3) Following the end of the weather hazard in respect of which a significant weather event was declared by a municipality under subsection (1), the municipality shall,

(a) declare the end of the significant weather event when the municipality determines it is appropriate to do so; and

(b) address snow accumulation on roadways in accordance with section 4. O. Reg. 366/18, s. 7.

Snow accumulation, bicycle lanes

4.2 (1) Subject to section 4.3, the standard for addressing snow accumulation on bicycle lanes is,

(a) after becoming aware of the fact that the snow accumulation on a bicycle lane is greater than the depth set out in the Table to this section, to deploy resources as soon as practicable to address the snow accumulation; and

(b) after the snow accumulation has ended, to address the snow accumulation so as to reduce the snow to a depth less than or equal to the depth set out in the Table to this section to provide a minimum bicycle lane width of the lesser of 1 metre or the actual bicycle lane width. O. Reg. 366/18, s. 7.

(2) If the depth of snow accumulation on a bicycle lane is less than or equal to the depth set out in the Table to this section, the bicycle lane is deemed to be in a state of repair in respect of snow accumulation. O. Reg. 366/18, s. 7.

(3) For the purposes of this section, the depth of snow accumulation on a bicycle lane and, if applicable, lane width under clause (1) (b), may be determined in the same manner as set out in subsection 4 (4) and by the persons mentioned in subsection 4 (3), with necessary modifications. O. Reg. 366/18, s. 7.

(4) For the purposes of this section, addressing snow accumulation on a bicycle lane includes,

(a) plowing the bicycle lane;

(b) salting the bicycle lane;

- (c) applying abrasive materials to the bicycle lane;
- (d) applying other chemical or organic agents to the bicycle lane;
- (e) sweeping the bicycle lane; or
- (f) any combination of the methods described in clauses (a) to (e). O. Reg. 366/18, s. 7.

TABLE
SNOW ACCUMULATION – BICYCLE LANES

Column 1 Class of Highway or Adjacent Highway	Column 2 Depth	Column 3 Time
1	2.5 cm	8 hours
2	5 cm	12 hours
3	8 cm	24 hours
4	8 cm	24 hours
5	10 cm	24 hours

O. Reg. 366/18, s. 7.

Snow accumulation on bicycle lanes, significant weather event

4.3 (1) If a municipality declares a significant weather event relating to snow accumulation, the standard for addressing snow accumulation on bicycle lanes until the declaration of the end of the significant weather event is,

- (a) to monitor the weather in accordance with section 3.1; and
- (b) if deemed practicable by the municipality, to deploy resources to address snow accumulation on bicycle lanes, starting from the time that the municipality deems appropriate to do so. O. Reg. 366/18, s. 7.

(2) If the municipality complies with subsection (1), all bicycle lanes within the municipality are deemed to be in a state of repair with respect to snow accumulation until the applicable time in the Table to section 4.2 expires following the declaration of the end of the significant weather event by the municipality. O. Reg. 366/18, s. 7.

(3) Following the end of the weather hazard in respect of which a significant weather event was declared by a municipality under subsection (1), the municipality shall,

(a) declare the end of the significant weather event when the municipality determines it is appropriate to do so; and

(b) address snow accumulation on bicycle lanes in accordance with section 4.2. O. Reg. 366/18, s. 7.

Ice formation on roadways and icy roadways

5. (1) The standard for the prevention of ice formation on roadways is doing the following in the 24-hour period preceding an alleged formation of ice on a roadway:

1. Monitor the weather in accordance with section 3.1.

2. Patrol in accordance with section 3.

3. If the municipality determines, as a result of its activities under paragraph 1 or 2, that there is a substantial probability of ice forming on a roadway, treat the roadway, if practicable, to prevent ice formation within the time set out in Table 1 to this section, starting from the time that the municipality determines is the appropriate time to deploy resources for that purpose. O. Reg. 366/18, s. 8.

(2) If the municipality meets the standard set out in subsection (1) and, despite such compliance, ice forms on a roadway, the roadway is deemed to be in a state of repair until the applicable time set out in Table 2 to this section expires after the municipality becomes aware of the fact that the roadway is icy. O. Reg. 366/18, s. 8.

(3) Subject to section 5.1, the standard for treating icy roadways is to treat the icy roadway within the time set out in Table 2 to this section, and an icy roadway is deemed to be in a state of repair until the applicable time set out in Table 2 to this section expires after the municipality becomes aware of the fact that a roadway is icy. O. Reg. 366/18, s. 8.

(4) For the purposes of this section, treating a roadway means applying material to the roadway, including but not limited to, salt, sand or any combination of salt and sand. O. Reg. 366/18, s. 8.

(5) For greater certainty, this section applies in respect of ice formation on bicycle lanes on a roadway, but does not apply to other types of bicycle facilities. O. Reg. 366/18, s. 8.

TABLE 1
ICE FORMATION PREVENTION

Class of Highway	Time
1	6 hours

2	8 hours
3	16 hours
4	24 hours
5	24 hours

O. Reg. 366/18, s. 8.

TABLE 2
TREATMENT OF ICY ROADWAYS

Class of Highway	Time
1	3 hours
2	4 hours
3	8 hours
4	12 hours
5	16 hours

O. Reg. 366/18, s. 8.

Icy roadways, significant weather event

5.1 (1) If a municipality declares a significant weather event relating to ice, the standard for treating icy roadways until the declaration of the end of the significant weather event is,

- (a) to monitor the weather in accordance with section 3.1; and
- (b) if deemed practicable by the municipality, to deploy resources to treat icy roadways, starting from the time that the municipality deems appropriate to do so. O. Reg. 366/18, s. 8.

(2) If the municipality complies with subsection (1), all roadways within the municipality are deemed to be in a state of repair with respect to any ice which forms or may be present until the applicable time in Table 2 to section 5 expires after the declaration of the end of the significant weather event by the municipality. O. Reg. 366/18, s. 8.

(3) Following the end of the weather hazard in respect of which a significant weather event was declared by a municipality under subsection (1), the municipality shall,

(a) declare the end of the significant weather event when the municipality determines it is appropriate to do so; and

(b) treat icy roadways in accordance with section 5. O. Reg. 366/18, s. 8.

Potholes

6. (1) If a pothole exceeds both the surface area and depth set out in Table 1, 2 or 3 to this section, as the case may be, the standard is to repair the pothole within the time set out in Table 1, 2 or 3, as appropriate, after becoming aware of the fact. O. Reg. 239/02, s. 6 (1); O. Reg. 366/18, s. 8 (1).

(1.1) For the purposes of this section, the surface area and depth of a pothole may be determined in accordance with subsections (1.2) and (1.3), as applicable, by a municipal employee, agent or contractor whose duties or responsibilities include one or more of the following:

1. Patrolling highways.
2. Performing highway maintenance activities.
3. Supervising staff who perform activities described in paragraph 1 or 2. O. Reg. 366/18, s. 8 (2).

(1.2) The depth and surface area of a pothole may be determined by,

- (a) performing an actual measurement; or
- (b) performing a visual estimate. O. Reg. 366/18, s. 8 (2).

(1.3) For the purposes of this section, the surface area of a pothole does not include any area that is merely depressed and not yet broken fully through the surface of the roadway. O. Reg. 366/18, s. 8 (2).

(2) A pothole is deemed to be in a state of repair if its surface area or depth is less than or equal to that set out in Table 1, 2 or 3, as appropriate. O. Reg. 239/02, s. 6 (2); O. Reg. 47/13, s. 6.

TABLE 1
POTHOLES ON PAVED SURFACE OF ROADWAY

Class of Highway	Surface Area	Depth	Time
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1	600 cm ²	8 cm	4 days
2	800 cm ²	8 cm	4 days
3	1000 cm ²	8 cm	7 days
4	1000 cm ²	8 cm	14 days
5	1000 cm ²	8 cm	30 days

O. Reg. 239/02, s. 6, Table 1.

TABLE 2
POTHOLES ON NON-PAVED SURFACE OF ROADWAY

Class of Highway	Surface Area	Depth	Time
3	1500 cm ²	8 cm	7 days
4	1500 cm ²	10 cm	14 days
5	1500 cm ²	12 cm	30 days

O. Reg. 239/02, s. 6, Table 2.

TABLE 3
POTHOLES ON PAVED OR NON-PAVED SURFACE OF SHOULDER

Class of Highway	Surface Area	Depth	Time
1	1500 cm ²	8 cm	7 days
2	1500 cm ²	8 cm	7 days
3	1500 cm ²	8 cm	14 days
4	1500 cm ²	10 cm	30 days

5	1500 cm ²	12 cm	60 days
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O. Reg. 239/02, s. 6, Table 3.

Shoulder drop-offs

7. (1) If a shoulder drop-off is deeper than 8 cm, for a continuous distance of 20 metres or more, the standard is to repair the shoulder drop-off within the time set out in the Table to this section after becoming aware of the fact. O. Reg. 366/18, s. 9 (1).

(2) A shoulder drop-off is deemed to be in a state of repair if its depth is less than 8 cm. O. Reg. 366/18, s. 9 (1).

(3) In this section,

“shoulder drop-off” means the vertical differential, where the paved surface of the roadway is higher than the surface of the shoulder, between the paved surface of the roadway and the paved or non-paved surface of the shoulder. O. Reg. 239/02, s. 7 (3).

TABLE
SHOULDER DROP-OFFS

Class of Highway	Time
1	4 days
2	4 days
3	7 days
4	14 days
5	30 days

O. Reg. 366/18, s. 9 (2).

Cracks

8. (1) If a crack on the paved surface of a roadway is greater than 5 cm wide and 5 cm deep for a continuous distance of three metres or more, the standard is to repair the crack within

the time set out in the Table to this section after becoming aware of the fact. O. Reg. 366/18, s. 10 (1).

(2) A crack is deemed to be in a state of repair if its width or depth is less than or equal to 5 cm. O. Reg. 366/18, s. 10 (1).

TABLE
CRACKS

Column 1 Class of Highway	Column 2 Time
1	30 days
2	30 days
3	60 days
4	180 days
5	180 days

O. Reg. 366/18, s. 10 (2).

Debris

9. (1) If there is debris on a roadway, the standard is to deploy resources, as soon as practicable after becoming aware of the fact, to remove the debris. O. Reg. 239/02, s. 9 (1); O. Reg. 366/18, s. 11.

(2) In this section,

“debris” means any material (except snow, slush or ice) or object on a roadway,

(a) that is not an integral part of the roadway or has not been intentionally placed on the roadway by a municipality, and

(b) that is reasonably likely to cause damage to a motor vehicle or to injure a person in a motor vehicle. O. Reg. 239/02, s. 9 (2); O. Reg. 47/13, s. 9.

Luminaires

10. (0.1) REVOKED: O. Reg. 366/18, s. 12.

(1) The standard for the frequency of inspecting all luminaires to check to see that they are functioning is once per calendar year, with each inspection taking place not more than 16 months from the previous inspection. O. Reg. 366/18, s. 12.

(2) For conventional illumination, if three or more consecutive luminaires on the same side of a highway are not functioning, the standard is to repair the luminaires within the time set out in the Table to this section after becoming aware of the fact. O. Reg. 366/18, s. 12.

(3) For conventional illumination and high mast illumination, if 30 per cent or more of the luminaires on any kilometre of highway are not functioning, the standard is to repair the luminaires within the time set out in the Table to this section after becoming aware of the fact. O. Reg. 366/18, s. 12.

(4) Despite subsection (2), for high mast illumination, if all of the luminaires on consecutive poles on the same side of a highway are not functioning, the standard is to deploy resources as soon as practicable after becoming aware of the fact to repair the luminaires. O. Reg. 366/18, s. 12.

(5) Despite subsections (1), (2) and (3), for conventional illumination and high mast illumination, if more than 50 per cent of the luminaires on any kilometre of a Class 1 highway with a speed limit of 90 kilometres per hour or more are not functioning, the standard is to deploy resources as soon as practicable after becoming aware of the fact to repair the luminaires. O. Reg. 366/18, s. 12.

(6) Luminaires are deemed to be in a state of repair,

(a) for the purpose of subsection (2), if the number of non-functioning consecutive luminaires on the same side of a highway does not exceed two;

(b) for the purpose of subsection (3), if more than 70 per cent of luminaires on any kilometre of highway are functioning;

(c) for the purpose of subsection (4), if one or more of the luminaires on consecutive poles on the same side of a highway are functioning;

(d) for the purpose of subsection (5), if more than 50 per cent of luminaires on any kilometre of highway are functioning. O. Reg. 366/18, s. 12.

(7) In this section,

“conventional illumination” means lighting, other than high mast illumination, where there are one or more luminaires per pole;

“high mast illumination” means lighting where there are three or more luminaires per pole and the height of the pole exceeds 20 metres;

“luminaire” means a complete lighting unit consisting of,

(a) a lamp, and

(b) parts designed to distribute the light, to position or protect the lamp and to connect the lamp to the power supply. O. Reg. 239/02, s. 10 (7).

TABLE
LUMINAIRES

Class of Highway	Time
1	7 days
2	7 days
3	14 days
4	14 days
5	14 days

O. Reg. 239/02, s. 10, Table.

Signs

11. (0.1) The standard for the frequency of inspecting signs of a type listed in subsection (2) to check to see that they meet the retro-reflectivity requirements of the Ontario Traffic Manual is once per calendar year, with each inspection taking place not more than 16 months from the previous inspection. O. Reg. 23/10, s. 7 (1); O. Reg. 47/13, s. 11 (1); O. Reg. 366/18, s. 13.

(0.2) A sign that has been inspected in accordance with subsection (0.1) is deemed to be in a state of repair with respect to the retro-reflectivity requirements of the Ontario Traffic Manual until the next inspection in accordance with that subsection, provided that the municipality does not acquire actual knowledge that the sign has ceased to meet these requirements. O. Reg. 47/13, s. 11 (2).

(1) If any sign of a type listed in subsection (2) is illegible, improperly oriented, obscured or missing, the standard is to deploy resources as soon as practicable after becoming aware of the fact to repair or replace the sign. O. Reg. 239/02, s. 11 (1); O. Reg. 23/10, s. 7 (2); O. Reg. 366/18, s. 13.

(2) This section applies to the following types of signs:

1. Checkerboard.
2. Curve sign with advisory speed tab.
3. Do not enter.
 - 3.1 Load Restricted Bridge.
 - 3.2 Low Bridge.
 - 3.3 Low Bridge Ahead.
4. One Way.
5. School Zone Speed Limit.
6. Stop.
7. Stop Ahead.
8. Stop Ahead, New.
9. Traffic Signal Ahead, New.
10. Two-Way Traffic Ahead.
11. Wrong Way.
12. Yield.
13. Yield Ahead.
14. Yield Ahead, New. O. Reg. 239/02, s. 11 (2); O. Reg. 23/10, s. 7 (3).

Regulatory or warning signs

12. (1) The standard for the frequency of inspecting regulatory signs or warning signs to check to see that they meet the retro-reflectivity requirements of the Ontario Traffic Manual is once per calendar year, with each inspection taking place not more than 16 months from the previous inspection. O. Reg. 23/10, s. 8; O. Reg. 47/13, s. 12 (1); O. Reg. 366/18, s. 13.

(1.1) A regulatory sign or warning sign that has been inspected in accordance with subsection (1) is deemed to be in a state of repair with respect to the retro-reflectivity requirements of the Ontario Traffic Manual until the next inspection in accordance with that subsection, provided that the municipality does not acquire actual knowledge that the sign has ceased to meet these requirements. O. Reg. 47/13, s. 12 (2).

(2) If a regulatory sign or warning sign is illegible, improperly oriented, obscured or missing, the standard is to repair or replace the sign within the time set out in the Table to this section

after becoming aware of the fact. O. Reg. 23/10, s. 8; O. Reg. 366/18, s. 13.

(3) In this section,

“regulatory sign” and “warning sign” have the same meanings as in the Ontario Traffic Manual, except that they do not include a sign listed in subsection 11 (2) of this Regulation. O. Reg. 23/10, s. 8.

TABLE
REGULATORY AND WARNING SIGNS

Class of Highway	Time
1	7 days
2	14 days
3	21 days
4	30 days
5	30 days

O. Reg. 239/02, s. 12, Table.

Traffic control signal systems

13. (1) If a traffic control signal system is defective in any way described in subsection (2), the standard is to deploy resources as soon as practicable after becoming aware of the defect to repair the defect or replace the defective component of the traffic control signal system.

O. Reg. 239/02, s. 13 (1); O. Reg. 366/18, s. 13.

(2) This section applies if a traffic control signal system is defective in any of the following ways:

1. One or more displays show conflicting signal indications.
2. The angle of a traffic control signal or pedestrian control indication has been changed in such a way that the traffic or pedestrian facing it does not have clear visibility of the information conveyed or that it conveys confusing information to traffic or pedestrians facing other directions.

3. A phase required to allow a pedestrian or vehicle to safely travel through an intersection fails to occur.
 4. There are phase or cycle timing errors interfering with the ability of a pedestrian or vehicle to safely travel through an intersection.
 5. There is a power failure in the traffic control signal system.
 6. The traffic control signal system cabinet has been displaced from its proper position.
 7. There is a failure of any of the traffic control signal support structures.
 8. A signal lamp or a pedestrian control indication is not functioning.
 9. Signals are flashing when flashing mode is not a part of the normal signal operation.
- O. Reg. 239/02, s. 13 (2).

(3) Despite subsection (1) and paragraph 8 of subsection (2), if the posted speed of all approaches to the intersection or location of the non-functioning signal lamp or pedestrian control indication is less than 80 kilometres per hour and the signal that is not functioning is a green or a pedestrian “walk” signal, the standard is to repair or replace the defective component by the end of the next business day. O. Reg. 239/02, s. 13 (3); O. Reg. 366/18, s. 13.

(4) In this section and section 14,

“cycle” means a complete sequence of traffic control indications at a location;

“display” means the illuminated and non-illuminated signals facing the traffic;

“indication” has the same meaning as in the *Highway Traffic Act*;

“phase” means a part of a cycle from the time where one or more traffic directions receive a green indication to the time where one or more different traffic directions receive a green indication;

“power failure” means a reduction in power or a loss in power preventing the traffic control signal system from operating as intended;

“traffic control signal” has the same meaning as in the *Highway Traffic Act*;

“traffic control signal system” has the same meaning as in the *Highway Traffic Act*. O. Reg. 239/02, s. 13 (4).

Traffic control signal system sub-systems

14. (1) The standard is to inspect, test and maintain the following traffic control signal system sub-systems once per calendar year, with each inspection taking place not more than 16

months from the previous inspection:

1. The display sub-system, consisting of traffic signal and pedestrian crossing heads, physical support structures and support cables.
2. The traffic control sub-system, including the traffic control signal cabinet and internal devices such as timer, detection devices and associated hardware, but excluding conflict monitors.
3. The external detection sub-system, consisting of detection sensors for all vehicles, including emergency and railway vehicles and pedestrian push- buttons. O. Reg. 239/02, s. 14 (1); O. Reg. 47/13, s. 13 (1); O. Reg. 366/18, s. 13.

(1.1) A traffic control signal system sub-system that has been inspected, tested and maintained in accordance with subsection (1) is deemed to be in a state of repair until the next inspection in accordance with that subsection, provided that the municipality does not acquire actual knowledge that the traffic control signal system sub-system has ceased to be in a state of repair. O. Reg. 47/13, s. 13 (2).

(2) The standard is to inspect, test and maintain conflict monitors every five to seven months and at least twice per calendar year. O. Reg. 239/02, s. 14 (2); O. Reg. 47/13, s. 13 (3); O. Reg. 366/18, s. 13.

(2.1) A conflict monitor that has been inspected, tested and maintained in accordance with subsection (2) is deemed to be in a state of repair until the next inspection in accordance with that subsection, provided that the municipality does not acquire actual knowledge that the conflict monitor has ceased to be in a state of repair. O. Reg. 47/13, s. 13 (4).

(3) In this section,

“conflict monitor” means a device that continually checks for conflicting signal indications and responds to a conflict by emitting a signal. O. Reg. 239/02, s. 14 (3).

Bridge deck spalls

15. (1) If a bridge deck spall exceeds both the surface area and depth set out in the Table to this section, the standard is to repair the bridge deck spall within the time set out in the Table after becoming aware of the fact. O. Reg. 239/02, s. 15 (1); O. Reg. 366/18, s. 13.

(2) A bridge deck spall is deemed to be in a state of repair if its surface area or depth is less than or equal to that set out in the Table. O. Reg. 239/02, s. 15 (2); O. Reg. 47/13, s. 14.

(3) In this section,

“bridge deck spall” means a cavity left by one or more fragments detaching from the paved surface of the roadway or shoulder of a bridge. O. Reg. 239/02, s. 15 (3).

TABLE
BRIDGE DECK SPALLS

Class of Highway	Surface Area	Depth	Time
1	600 cm ²	8 cm	4 days
2	800 cm ²	8 cm	4 days
3	1,000 cm ²	8 cm	7 days
4	1,000 cm ²	8 cm	7 days
5	1,000 cm ²	8 cm	7 days

O. Reg. 239/02, s. 15, Table.

Roadway surface discontinuities

16. (1) If a surface discontinuity on a roadway, other than a surface discontinuity on a bridge deck, exceeds the height set out in the Table to this section, the standard is to repair the surface discontinuity within the time set out in the Table after becoming aware of the fact. O. Reg. 23/10, s. 9; O. Reg. 366/18, s. 13.

(1.1) A surface discontinuity on a roadway, other than a surface discontinuity on a bridge deck, is deemed to be in a state of repair if its height is less than or equal to the height set out in the Table to this section. O. Reg. 47/13, s. 15.

(2) If a surface discontinuity on a bridge deck exceeds five centimetres, the standard is to deploy resources as soon as practicable after becoming aware of the fact to repair the surface discontinuity on the bridge deck. O. Reg. 23/10, s. 9; O. Reg. 366/18, s. 13.

(2.1) A surface discontinuity on a bridge deck is deemed to be in a state of repair if its height is less than or equal to five centimetres. O. Reg. 47/13, s. 15.

(3) In this section,

“surface discontinuity” means a vertical discontinuity creating a step formation at joints or cracks in the paved surface of the roadway, including bridge deck joints, expansion joints and approach slabs to a bridge. O. Reg. 23/10, s. 9.

TABLE
SURFACE DISCONTINUITIES

Class of Highway	Height	Time
1	5 cm	2 days
2	5 cm	2 days
3	5 cm	7 days
4	5 cm	21 days
5	5 cm	21 days

O. Reg. 239/02, s. 16, Table.

Sidewalk surface discontinuities

16.1 (1) The standard for the frequency of inspecting sidewalks to check for surface discontinuity is once per calendar year, with each inspection taking place not more than 16 months from the previous inspection. O. Reg. 23/10, s. 10; O. Reg. 47/13, s. 16 (1); O. Reg. 366/18, s. 13.

(1.1) A sidewalk that has been inspected in accordance with subsection (1) is deemed to be in a state of repair with respect to any surface discontinuity until the next inspection in accordance with that subsection, provided that the municipality does not acquire actual knowledge of the presence of a surface discontinuity in excess of two centimetres. O. Reg. 47/13, s. 16 (2).

(2) If a surface discontinuity on or within a sidewalk exceeds two centimetres, the standard is to treat the surface discontinuity within 14 days after acquiring actual knowledge of the fact. O. Reg. 366/18, s. 14.

(2.1) REVOKED: O. Reg. 366/18, s. 14.

(3) A surface discontinuity on or within a sidewalk is deemed to be in a state of repair if it is less than or equal to two centimetres. O. Reg. 366/18, s. 14.

(4) For the purpose of subsection (2), treating a surface discontinuity on or within a sidewalk means taking reasonable measures to protect users of the sidewalk from the discontinuity,

including making permanent or temporary repairs, alerting users' attention to the discontinuity or preventing access to the area of discontinuity. O. Reg. 366/18, s. 14.

(5) In this section,

“surface discontinuity” means a vertical discontinuity creating a step formation at any joint or crack in the surface of the sidewalk or any vertical height difference between a utility appurtenance found on or within the sidewalk and the surface of the sidewalk. O. Reg. 366/18, s. 14.

Encroachments, area adjacent to sidewalk

16.2 (1) The standard for the frequency of inspecting an area adjacent to a sidewalk to check for encroachments is once per calendar year, with each inspection taking place not more than 16 months from the previous inspection. O. Reg. 366/18, s. 15.

(2) The area adjacent to a sidewalk that has been inspected in accordance with subsection (1) is deemed to be in a state of repair in respect of any encroachment present. O. Reg. 366/18, s. 15.

(3) For greater certainty, the area adjacent to a sidewalk begins at the outer edges of a sidewalk and ends at the lesser of the limit of the highway, the back edge of a curb if there is a curb and a maximum of 45 cm. O. Reg. 366/18, s. 15.

(4) The area adjacent to a sidewalk is deemed to be in a state of repair in respect of any encroachment present unless the encroachment is determined by a municipality to be highly unusual given its character and location or to constitute a significant hazard to pedestrians. O. Reg. 366/18, s. 15.

(5) If a municipality determines that an encroachment is highly unusual given its character and location or constitutes a significant hazard to pedestrians, the standard is to treat the encroachment within 28 days after making such a determination, and the encroachment is deemed in a state of repair for 28 days from the time of the determination by the municipality. O. Reg. 366/18, s. 15.

(6) For the purpose of subsection (4), treating an encroachment means taking reasonable measures to protect users, including making permanent or temporary repairs, alerting users' attention to the encroachment or preventing access to the area of the encroachment. O. Reg. 366/18, s. 15.

Snow accumulation on sidewalks

16.3 (1) Subject to section 16.4, the standard for addressing snow accumulation on a sidewalk after the snow accumulation has ended is,

a) to reduce the snow to a depth less than or equal to 8 centimetres within 48 hours; and

b) to provide a minimum sidewalk width of 1 metre. O. Reg. 366/18, s. 15.

(2) If the depth of snow accumulation on a sidewalk is less than or equal to 8 centimetres, the sidewalk is deemed to be in a state of repair in respect of snow accumulation. O. Reg. 366/18, s. 15.

(3) If the depth of snow accumulation on a sidewalk exceeds 8 centimetres while the snow continues to accumulate, the sidewalk is deemed to be in a state of repair with respect to snow accumulation, until 48 hours after the snow accumulation ends. O. Reg. 366/18, s. 15.

(4) For the purposes of this section, the depth of snow accumulation on a sidewalk may be determined in the same manner as set out in subsection 4 (4) and by the persons mentioned in subsection 4 (3) with necessary modifications. O. Reg. 366/18, s. 15.

(5) For the purposes of this section, addressing snow accumulation on a sidewalk includes,

(a) plowing the sidewalk;

(b) salting the sidewalk;

(c) applying abrasive materials to the sidewalk;

(d) applying other chemical or organic agents to the sidewalk; or

(e) any combination of the methods described in clauses (a) to (d). O. Reg. 366/18, s. 15.

Snow accumulation on sidewalks, significant weather event

16.4 (1) If a municipality declares a significant weather event relating to snow accumulation, the standard for addressing snow accumulation on sidewalks until the declaration of the end of the significant weather event is,

(a) to monitor the weather in accordance with section 3.1; and

(b) if deemed practicable by the municipality, to deploy resources to address snow accumulation on sidewalks starting from the time that the municipality deems appropriate to do so. O. Reg. 366/18, s. 15.

(2) If the municipality complies with subsection (1), all sidewalks within the municipality are deemed to be in a state of repair with respect to any snow present until 48 hours following the declaration of the end of the significant weather event by the municipality. O. Reg. 366/18, s. 15.

(3) Following the end of the weather hazard in respect of which a significant weather event was declared by a municipality under subsection (1), the municipality shall,

- (a) declare the end of the significant weather event when the municipality determines it is appropriate to do so; and
- (b) address snow accumulation on sidewalks in accordance with section 16.3. O. Reg. 366/18, s. 15.

Ice formation on sidewalks and icy sidewalks

16.5 (1) Subject to section 16.6, the standard for the prevention of ice formation on sidewalks is to,

- (a) monitor the weather in accordance with section 3.1 in the 24-hour period preceding an alleged formation of ice on a sidewalk; and
- (b) treat the sidewalk if practicable to prevent ice formation or improve traction within 48 hours if the municipality determines that there is a substantial probability of ice forming on a sidewalk, starting from the time that the municipality determines is the appropriate time to deploy resources for that purpose. O. Reg. 366/18, s. 15.

(2) If ice forms on a sidewalk even though the municipality meets the standard set out in subsection (1), the sidewalk is deemed to be in a state of repair in respect of ice until 48 hours after the municipality first becomes aware of the fact that the sidewalk is icy. O. Reg. 366/18, s. 15.

(3) The standard for treating icy sidewalks after the municipality becomes aware of the fact that a sidewalk is icy is to treat the icy sidewalk within 48 hours, and an icy sidewalk is deemed to be in a state of repair for 48 hours after it has been treated. O. Reg. 366/18, s. 15.

(4) For the purposes of this section, treating a sidewalk means applying materials including salt, sand or any combination of salt and sand to the sidewalk. O. Reg. 366/18, s. 15.

Icy sidewalks, significant weather event

16.6 (1) If a municipality declares a significant weather event relating to ice, the standard for addressing ice formation or ice on sidewalks until the declaration of the end of the significant weather event is,

- (a) to monitor the weather in accordance with section 3.1; and
- (b) if deemed practicable by the municipality, to deploy resources to treat the sidewalks to prevent ice formation or improve traction, or treat the icy sidewalks, starting from the time that the municipality deems appropriate to do so. O. Reg. 366/18, s. 15.

(2) If the municipality complies with subsection (1), all sidewalks within the municipality are deemed to be in a state of repair with respect to any ice which forms or is present until 48

hours after the declaration of the end of the significant weather event by the municipality. O. Reg. 366/18, s. 15.

(3) Following the end of the weather hazard in respect of which a significant weather event was declared by a municipality under subsection (1), the municipality shall,

(a) declare the end of the significant weather event when the municipality determines it is appropriate to do so; and

(b) address the prevention of ice formation on sidewalks or treat icy sidewalks in accordance with section 16.5. O. Reg. 366/18, s. 15.

Winter sidewalk patrol

16.7 (1) If it is determined by the municipality that the weather monitoring referred to in section 3.1 indicates that there is a substantial probability of snow accumulation on sidewalks in excess of 8 cm, ice formation on sidewalks or icy sidewalks, the standard for patrolling sidewalks is to patrol sidewalks that the municipality selects as representative of its sidewalks at intervals deemed necessary by the municipality. O. Reg. 366/18, s. 15.

(2) Patrolling a sidewalk consists of visually observing the sidewalk, either by driving by the sidewalk on the adjacent roadway or by driving or walking on the sidewalk or by electronically monitoring the sidewalk, and may be performed by persons responsible for patrolling roadways or sidewalks or by persons responsible for or performing roadway or sidewalk maintenance activities. O. Reg. 366/18, s. 15.

Closure of a highway

16.8 (1) When a municipality closes a highway or part of a highway pursuant to its powers under the Act, the highway is deemed to be in a state of repair in respect of all conditions described in this Regulation from the time of the closure until the highway is re-opened by the municipality. O. Reg. 366/18, s. 15.

(2) For the purposes of subsection (1), a highway or part of a highway is closed on the earlier of,

(a) when a municipality passes a by-law to close the highway or part of the highway; and

(b) when a municipality has taken such steps as it determines necessary to temporarily close the highway or part of a highway. O. Reg. 366/18, s. 15.

Declaration of significant weather event

16.9. A municipality declaring the beginning of a significant weather event or declaring the end of a significant weather event under this Regulation shall do so in one or more of the

following ways:

1. By posting a notice on the municipality's website.
2. By making an announcement on a social media platform, such as Facebook or Twitter.
3. By sending a press release or similar communication to internet, newspaper, radio or television media.
4. By notification through the municipality's police service.
5. By any other notification method required in a by-law of the municipality. O. Reg. 366/18, s. 15.

REVIEW OF REGULATION

Review

17. (1) The Minister of Transportation shall conduct a review of this Regulation and Ontario Regulation 612/06 (Minimum Maintenance Standards for Highways in the City of Toronto) made under the *City of Toronto Act, 2006* every five years. O. Reg. 613/06, s. 2.

(2) Despite subsection (1), the first review after the completion of the review started before the end of 2007 shall be started five years after the day Ontario Regulation 23/10 is filed. O. Reg. 23/10, s. 11.

18. OMITTED (PROVIDES FOR COMING INTO FORCE OF PROVISIONS OF THIS REGULATION). O. Reg. 239/02, s. 18.

Appendix B – MMS Road Classifications – Draft – In Review

The following table identifies all municipally maintained roads and their assigned Minimum Maintenance Standards (MMS) classifications. These classifications reflect a combination of MMS requirements and the Municipality of Powassan's operational priorities, including settlement area density, functional hierarchy, and surface type.

Road Name	From	To	Surface	MMS Class
McCarthy Street, Trout Creek	Highway 11	North End	G/S	6
McCarthy Street, Trout Creek	Highway 522	Bird Street	LCB	4
McCarthy Street, Trout Creek	Bird Street	South End	LCB	4
Bird Street, Trout Creek	McCarthy Street	Arthur Street	LCB	5
Arthur Street, Trout Creek	Bird Street	Highway 522	LCB	4
Adelaide Street, Trout Creek	Highway 522	South End	LCB	5
Main Street, Trout Creek	Highway 11	Sophia Street	HCB	4
Main Street, Trout Creek	Sophia Street	Forestry Road	LCB	4
Morrison Street, Trout Creek	West End	McCarthy Street	LCB	5
Morrison Street, Trout Creek	McCarthy Street	Highway 522B	LCB	5
Morrison Street, Trout Creek	Highway 522B	Sophia Street	LCB	5

Sweezy Street, Trout Creek	West End	McCarthy Street	LCB	5
Sweezy Street, Trout Creek	McCarthy Street	Highway 522B	LCB	4
Sweezy Street, Trout Creek	Highway 522B	Sophia Street	LCB	5
Corkery Street, Trout Creek	McCarthy Street	McDonald Street	LCB	5
Barrett Street, Trout Creek	Highway 522	Morrison Street	LCB	5
McCarthy Street, Trout Creek	Highway 522	North Limit Trout Creek	LCB	4
McEachern Street, Trout Creek	Highway 522	Morrison Street	LCB	5
McEachern Street, Trout Creek	Morrison Street	Sweezy Street	LCB	5
McKenzie Street, Trout Creek	Highway 522	Morrison Street	LCB	5
McKenzie Street, Trout Creek	Morrison Street	Sweezy Street	LCB	5
McKenzie Street, Trout Creek	Sweezy Street	Corkery Street	LCB	5
McDonald Street, Trout Creek	Main Street	Highway 522B	LCB	5
McDonald Street,	Sweezy Street	North End	LCB	4

Powassan				
Sophia Street, Trout Creek	Main Street	Sweezy Street	LCB	5
Sophia Street, Trout Creek	Sweezy Street	North End	LCB	5
Young Street, Trout Creek	Sophia Street	East End	G/S	5
Melbourne Street, Trout Creek	Main Street	North End	G/S	5
Franklin Street, Trout Creek	Melbourne Street	West End	LCB	5
Main Street West (Hwy. 522), Trout Creek	Highway 522B	Barret Street	HCB	5
Main Street, Powassan	South Limit Powassan	0.06 km North of Chisholm Street	HCB	5
Main Street, Powassan	0.06 km North of Chisholm Street	Valley View Drive East	HCB	5
Main Street, Powassan	Valley View Drive East	North Limit Powassan	HCB	5
South Street, Powassan	Main Street	West End	HCB	5
Chisholm Street, Powassan	Elm Street	Edward Street	HCB	5
Chisholm Street, Powassan	Edward Street	Main Street	HCB	5
Catherine Avenue,	Main Street	70m East	G/S	6

Powassan				
Catherine Avenue, Powassan	Big Bend Avenue	Himsworth Avenue	HCB	5
King Street West, Powassan	Daniel Street	Joseph Street	HCB	4
King Street West, Powassan	Joseph Street	Edward Street	HCB	4
King Street West, Powassan	Edward Street	Main Street	HCB	5
King Street East, Powassan	Main Street	East End	HCB	5
Memorial Park Drive West, Powassan	Daniel Street	Joseph Street	HCB	5
Memorial Park Drive West, Powassan	Joseph Street	Edward Street	HCB	5
Memorial Park Drive West, Powassan	Edward Street	Main Street	HCB	5
Memorial Park Drive East, Powassan	Main Street	Armstrong Street	HCB	5
Memorial Park Drive East, Powassan	Armstrong Street	Queens Avenue	HCB	5
Clark Street, Powassan	Highway 11 Ramp	Edward Street	HCB	5
Clark Street, Powassan	Edward Street	Main Street	HCB	5
Valley View Drive East,	Main Street	CN Railway	HCB	4

Powassan				
Valley View Drive East, Powassan	CN Railway	Queen Avenue	HCB	4
Birch Street, Powassan	Main Street	South End	HCB	4
Osborne Street, Powassan	Valley View Drive West	Main Street	HCB	5
Elm Street, Powassan	South Street	Chisholm Street	HCB	4
Elm Street, Powassan	Chisholm Street	North End	HCB	5
Joseph Street, Powassan	South End	King Street	HCB	5
Joseph Street, Powassan	King Street	Memorial Park Drive West	HCB	5
Joseph Street, Powassan	Memorial Park Drive West	Clark Street	HCB	5
Daniel Street, Powassan	King Street	Memorial Park Drive West	HCB	5
Edward Street, Powassan	South Street	Chisholm Street	HCB	4
Edward Street, Powassan	Chisholm Street	King Street	HCB	5
Edward Street, Powassan	King Street	Memorial Park Drive West	HCB	5
Edward Street, Powassan	Memorial Park Drive West	Clark Street	HCB	5
Edward Street, Powassan	Clark Street	North End	HCB	5
Valley View	Main Street	North Limit	HCB	4

Drive West, Powassan		Powassan		
Armstrong Street, Powassan	King Street	Memorial Park Drive East	HCB	5
Armstrong Street, Powassan	Memorial Park Drive East	North End	HCB	5
Bridge Street, Powassan	Memorial Park Drive East	Genesee Creek	HCB	4
Bridge Street, Powassan	Genesee Creek	Valley View Drive East	HCB	4
Spetz Street, Powassan	Valley View Drive East	South End	HCB	4
Big Bend Avenue, Powassan	Memorial Park Drive East	Catherine Avenue	HCB	4
Big Bend Avenue, Powassan	Catherine Avenue	0.4 km South of Catherine Avenue	HCB	5
Big Bend Avenue, Powassan	0.4 km South of Catherine Avenue	South End	LCB	5
Himsworth Avenue, Powassan	Catherine Avenue	North End	HCB	5
Queens Avenue, Powassan	Valley View Drive East	Memorial Park Drive East	HCB	4
Queens Avenue, Powassan	Memorial Park Drive East	South End	HCB	4
Young Drive, Powassan	Valley View Drive East	South End	LCB	5

Fair View Lane, Powassan	Highway 534	East End	HCB	5
Butler Drive, Powassan	Highway 534	East End	HCB	4
McFadden Line	Highway 11	West End	G/S	6
Meat Packers Road	McFadden Line	North End	G/S	6
Whitehead Road	Highway 522	North End	G/S	6
Chalet Road	Highway 522	River Road	LCB	4
Chalet Road	River Road	South End	G/S	6
River Road	Chalet Road	West End	HCB	4
Butterfield Road	Highway 522	478 Butterfield Road	G/S	6
McCarthy Street	North Limit Trout Creek	North End	LCB	4
Hummel Line	Highway 11	Hemlock Road	G/S	6
Hummel Line	Hemlock Road	1.9 km West of Hemlock Road	G/S	6
Hummel Line	1.9 km West of Hemlock Road	West End	G/S	6
Sand Crescent	Hemlock Road	Hemlock Road	G/S	6
Hemlock Road	Sand Crescent	Hemmel Line	HCB	4
Hemlock Road	Sand Crescent	South End	G/S	6
Hemlock Road	Hummel Line	Weiler Line	LCB	4
Hemlock Road	Weiler Line	Tower Line	G/s	6
Weiler Line	Maple Hill Road	Hemlock Road	G/S	6
Weiler Line	Hemlock Road	West End	G/S	6

English Line	Highway 11	1.4 km West of Highway 11	G/S	6
English Line	1.4 km West of Highway 11	Maple Hill Road	G/S	6
Tower Line	Maple Hill Road	0.6 km West of Maple Hill Road	G/S	6
Tower Line	0.6 km West of Maple Hill Road	0.3 km East of Hemlock Road	G/S	6
Tower Line	0.3 km East of Hemlock Road	Hemlock Road	G/S	6
Hemlock Road	Tower Line	Schosser Line	G/S	6
Schosser Line	Hemlock Road	West End	G/S	6
Purdon Line	Highway 11	Maple Hill Road	G/S	6
Purdon Line	Maple Hill Road	West End	G/S	6
Park Line	Hemlock Road	East End	G/S	6
Hemlock Road	Schosser Line	Park Line	G/S	6
Balsam Road	Highway 534	South End	G/S	6
Maple Hill Road	Weiler Line	English Line	G/S	6
Maple Hill Road	English Line	Purdon Line	G/S	6
Maple Hill Road	Purdon Line	Highway 534	G/S	6
South Street West	Highway 11	0.2 km West	G/S	6
Maple Hill Road	Highway 534	Peever Line	G/S	6
Maple Hill Road	Peever Line	Hazelglen Road	G/S	6
Hazelglen Road	Maple Hill Road	0.5 km West of Maple Hill Road	G/S	6
Oakwood Road	South End	0.6 km South of McCharles Line	HCB	4

Oakwood Road	0.6 km South of McCharles Line	McCharles Line	G/S	6
Oakwood Road	McCharles Line	Peever Line	G/S	6
Oakwood Road	Peever Line	Himsworth North Boundary	G/S	6
McCharles Line	Highway 11	0.2 km West of Highway 11	HCB	4
McCharles Line	0.2 km West of Highway 11	Oakwood Road	G/S	6
Peever Line	Highway 11	1.0 km West of Highway 11	LCB	4
Peever Line	1.0 km West of Highway 11	Oakwood Road	G/S	6
Peever Line	Oakwood Road	Maple Hill Road	G/S	6
Stillaway Line	Maple Hill Road	West End	G/S	6
Latour Crescent	Peever Line	Himsworth North Boundary	LCB	4
Golf Course Line	Highway 11	0.2km East	HCB	4
Golf Course Line	0.2km East	0.3km East of Highway 11	G/S	6
Pine Tree Way	Lindquist Line	Golf Course Line	HCB	4
Lindquist Line	Pine Tree Way	CN Railway	LCB	4
Lindquist Line	CN Railway	0.8km East	LCB	4
Lindquist Line	0.8km East of CN Railway	East End	G/S	6
Main Street	North Limit Powassan	Highway 11	HCB	4
Valley View Drive West	North Limit Powassan	0.3 km West of Main Street	LCB	5

Valley View Drive West	0.3 km West of Main Street	Main Street	HCB	5
Valley View Drive East	East Limit Powassan	Memorial Park Drive	LCB	5
Memorial Park Drive	East Limit Powassan	Valley View Drive East	HCB	4
Memorial Park Drive	Valley View Drive East	Genesee Lake Road	HCB	4
Memorial Park Drive	Genesee Lake Road	Trappers Road	HCB	4
Trappers Road	Memorial Park Drive	444 Trappers Road	G/S	6
Trappers Road	444 trappers Road	1.0 km North	G/S	6
Moyles Line	Trappers Road	West End	G/S	6
Genesee Lake Road	Memorial Park Drive	Chiswick Line	G/S	6
Genesee Lake Road	Chiswick Line	Lawrence Line	G/S	6
Genesee Lake Road	Lawrence Line	Hunt Line	G/S	6
Genesee Lake Road	Hunt Line	O'Connor Line	G/S	6
Genesee Lake Road	O'Connor Line	0.1 km South of O'Connor Line	G/S	6
Genesee Lake Road	0.1 km South of O'Connor Line	1.1 km South of O'Connor Line	G/S	6
Genesee Lake Road	1.1 km South of O'Connor Line	South End	G/S	6
O'Connor Line	Genesee Lake Road	0.9 km West of Genesee Lake	G/S	6

		Road		
O'Connor Line	0.9 km West of Genesee Lake Road	South End	G/S	6
O'Connor Line	Genesee Lake Road	0.9 km East of Genesee Lake Road	G/S	6
O'Connor Line	0.9 km East of Genesee Lake Road	Chisholm Boundary	G/S	6
Hunt Line	Genesee Lake Road	West End	G/S	6
Hunt Line	Genesee Lake Road	East End	G/S	6
Lawrence Line	Genesee Lake Road	West End	G/S	6
Hanselman Line	Genesee Lake Road	East End	G/S	6
Robson Line	Boundary Road	West End	G/S	6
Chiswick Line	Main Street	0.3 km East of Genesee Lake Road	LCB	4
Chiswick Line	0.3 km East of Genesee Lake Road	Boundary Road	LCB	4
Glendale Heights	Chiswick Line	North End	LCB	4
McRae Drive	Glendale Heights	West End	LCB	5
Main Street	Highway 11	South Street	HCB	4
Loxton Line	Highway 11	East End	G/S	6

Proudfoot Road	Highway 11	0.3 km East of Highway 11	HCB	4
Proudfoot Road	0.3 km East of Highway 11	East End	G/S	6
Main Street East	Forestry Road	0.35km East of Forestry Road	LCB	5
Main Street East	0.35 km East of Forestry Road	East End	G/S	6
Forestry Road	Main Street East	Laurier Boundary	G/S	6

Staff Report

To: Mayor and Members of Council
From: Trevor Keefe – Manager of Operations
Re: Monthly Report – November 2025
Date: November 18, 2025

Operations

Water & Wastewater

- Responded to sewer backup on Main Street – cleared using municipal equipment.
- Responded to sewer backup on Queen Street South – cleared using contracted vac truck.
- Repaired multiple residential water curb stops.
- Repaired main isolation valve at the Sportsplex, including fabrication of a new valve cover.
- Curling Club exterior curbstop identified for full excavation and repair.
- Ordered new chlorine analyzer for operational monitoring.
- Two fire hydrants repaired and bags removed.

Roads, Drainage & Infrastructure

- Completed shouldering on various sections of municipal roads.
- Cleared gravel buildup along roadside safety fencing.
- Cleaned ditch sections to improve drainage.
- Removed the dock at the hydro pond for the season; new dock received and stored.
- New Trout Creek bleachers received and stored for spring installation.

Parks, Cemeteries & Facilities

- Cleaned and repaired grave markers at municipal cemeteries.
- Annual fire extinguisher and alarm inspections completed.
- Collecting pricing to establish overhead door inspection program.

Facility Electrical & Mechanical Issues

- Trout Creek Community Centre – replaced well pump control panel, resolving water issues.
- Sportsplex – corrected power outage caused by tripped transformer leg.

- ESA surprise inspections completed at both community centres; corrective actions being planned.

Staffing

- Two part-time Arena Attendants hired.
- One full-time Public Works Attendant hired.

Recycling Transition

- Recycling program transition to Circular Materials rolled out smoothly with minor initial issues.

Capital Projects & Major Initiatives

Curling Club Structural Work

- Lateral support and concrete work on north wall scheduled for completion this week.
- Exterior curbstop repair to follow.

Lagoon Review – Dillon Consulting

- All required lagoon data submitted.
- Meetings held with OCWA and consultant regarding operational/regulatory concerns.
- Draft lagoon assessment report expected in coming weeks.

ICIP Green Stream II – Water Infrastructure

- Progress report submitted.
- Met with funding analyst to review status and scope options.
- Internal review underway before returning to Council with recommendations.

Emergency Preparedness Grant – 250 Clark

- Completed grant application to equip 250 Clark for emergency operations.
- Includes capacity for portable or permanent generator to improve emergency response during outages.

Pothole Funding Program

- Program guidelines received; eligibility review underway.
- Submission being prepared.

Policy, Planning & Administrative Updates

Winter Maintenance Plan

- Developing comprehensive plan including service levels, route prioritization, patrol standards, call-out procedures, and documentation.

Minimum Maintenance Standards (O. Reg. 239/02)

- Endorsement package provided to Council, resolution scheduled for November 18.

Water Metering – Resident Communication

- Finalizing water meter policy review and residents' communication protocol regarding ongoing metering work, timelines, access needs, and billing implications.

Speed Sign & Traffic Calming

- Radar speed sign relocated from Main Street to Memorial Park Drive.
- Data collection underway, the sign will rotate to identified concern areas.
- Traffic calming study will be developed once sufficient data is collected.

Standardized Procedures & Training

- Identifying areas where standardized procedures can improve efficiency, compliance, and staff training.

2026 Operating & Capital Budget

- Work underway on development of 2026 operating and capital budget, including forecasting and alignment with funding programs.

Date: November 10, 2025 (revised)

No. of Pages: 5 + Encl.

Project: Trout Creek Community Centre

Project No.: TE-45355-2

Address: 181 Main St. W, Trout Creek

Permit No.:

Client: Municipality of Powassan

Distribution: Trevor Keefe

Mun. of Powassan

TKeefe@Powassan.net

DRAFT

Background

Tacoma Engineers Inc. (Tacoma) have been retained by the Municipality of Powassan to complete a multi-phase assessment of the existing community centre located in Trout Creek.

A site review was completed by the undersigned on July 25th, 2025.

The Trout Creek Community Centre (TCCC) is located at 181 Main Street West. Drawings provided for the building indicate construction around 1976.

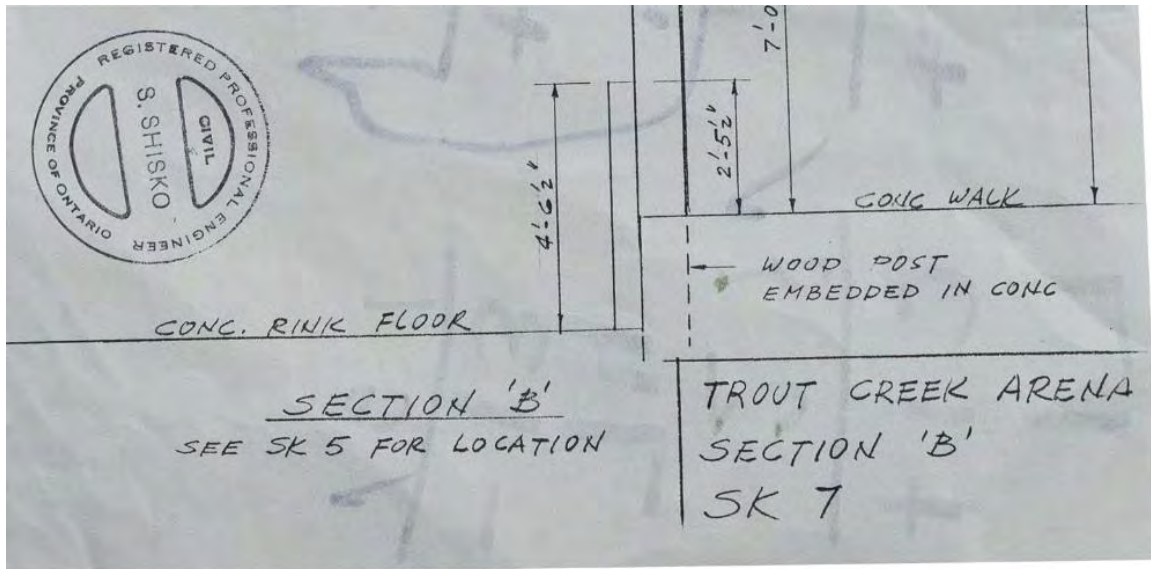


This report focuses on options for remediating the deteriorating columns with the goal of removing the previously installed shoring and returning the facility to its previous operating state.

Comments

As understood by Tacoma, the reason for the temporary shoring was to allow occupancy of the arena to continue while deferring the required structural upgrades due to the on-going deterioration of the original wood timber posts.

Originally embedded in the concrete foundations (refer to original partial drawing below), the wood posts have been exposed to conditions that have allowed deterioration (rot) to occur. Water, most likely sourced from the ice surface, would be trapped against the wood posts by the surrounding concrete, and with inadequate ability to dry, the moist environment has triggered deterioration.



Original Drawing (Partial)

Recognizing that deterioration was occurring, the main posts were previously reinforced with steel brackets to transfer the loads from the posts to the concrete foundations above the deterioration. Refer to the photo below:



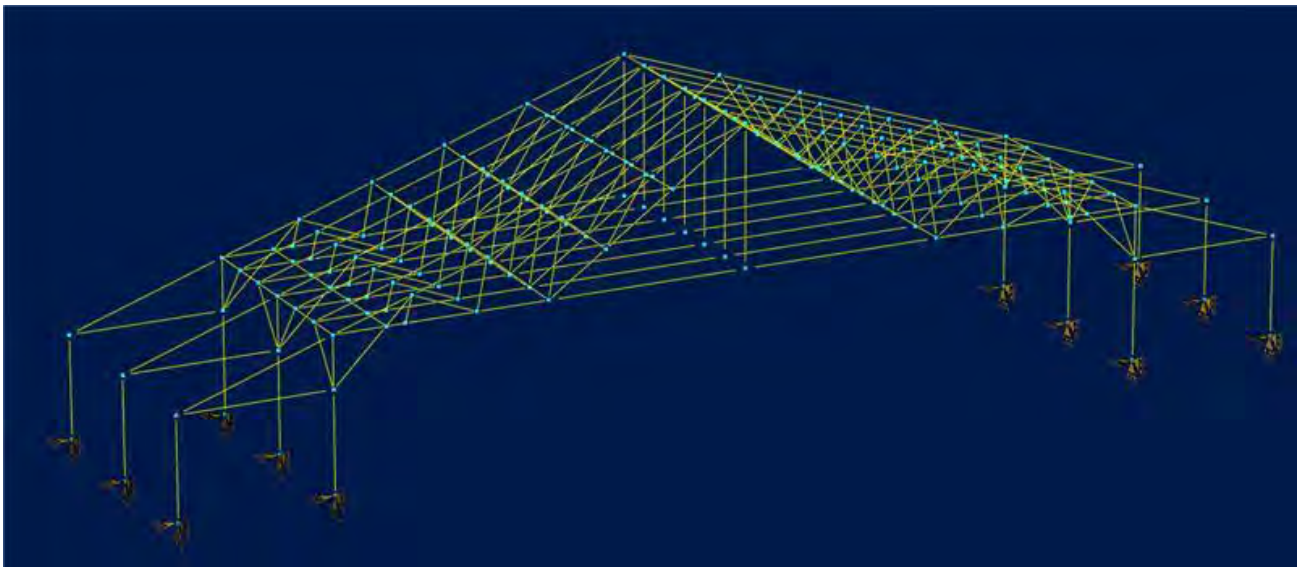
Photo: Steel Bracket Reinforcing

More recent assessments have added secondary shoring to the main beam lines to further reduce the loads on the primary wood posts.



Photo: Shoring

A model of the frame was constructed to verify the existing foundation loads. The image below shows the existing framing, without the additional shoring that was added.



Our analysis utilized the design snow load from the original building drawings.

Snow = 50psf (2.4kPa)

Roof = 8psf (0.4 kPa)

Note that this snow load is less than what is currently required by code. Upgrading to current codes will likely require reinforcement of the existing roof trusses (not part of this scope).

The following scope was used to establish an estimate for remediation work:

Refer to the sketch drawing attached.

Work to be completed in 3 stages (replace 1, skip 2, repeat) as all the supports can not be removed at one time.

In 38 locations (every 12' down the length of a 216' long arena), provide temporary shoring as required (in addition to the existing shoring already in place).

Sawcut and remove the existing upper walkway concrete slab.

Excavate between the main post and exterior wall post.

Sawcut the foundation wall / curb (+/- 12" on either side of existing embedded wood post) without affecting the rink floor slab (has chilling pipes).

Remove the existing rotted wood posts (interior: from the steel brackets down, exterior: full height).

Install new W8x24 steel exterior column (cantilevered wind post).

Install new 5' wide reinforced concrete footing with 6-15M long and 15M @12" cross bars.

Install new concrete piers with 6 – 15M vertical bars with bottom hooks and 10M ties at 12" o.c. in the pier. Note on the interior pier, the rink side below the existing rink slab cannot be formed. Concrete shall be allowed to flow under existing rink slab to fill any void that may occur during removal. It is assumed that the soils are suitable to allow this excavation to occur.

Backfill and replace the slab on grade.

Once complete, remove the temporary shoring (pink and green posts).

Based on the above, a Class 'C' budget estimate ($\pm 15\%$) was prepared for \$280,000 for the interior piers and \$340,000 for the exterior piers plus applicable taxes.

Recommendations

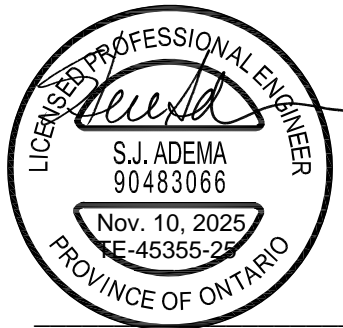
The following recommendations are from our previous report and remain:

1. The current design snow load for a community centre (high importance factor) in Trout Creek is 2.94 kPa. Since this design load is significantly greater than the capacity of the roof structure based on its actual design, Tacoma recommends that this building be excluded from the Municipalities Emergency Plan that would call for a community centre to be utilized as a shelter location in an emergency situation.

2. Using the information presented in the National Research Council Canada Structural Commentaries, referenced in the Ontario Building Code, the density of snow in an accumulated state can be capped at 4.0 kN/m³ (Commentary G, Clause 8). In reference to the design snow load of 2.4 kPa, this would equate to a 0.6m (24") allowable depth of snow accumulation to reach the design load. Tacoma recommends that indicators be added to the roof set at 18" in height. If snow accumulation exceeds that amount (covers the indicators), the roof snow be removed in a careful, balanced approach.
3. If at any time, cracks, settlement or any other distress be noticed in the building structure, Tacoma or another professional engineer be retained to immediately review the structure and that operations within the building be ceased until cleared to resume.

NOTE: These recommendations are presented with respect to our visual assessment and structural analysis of the built-up wood posts as temporary support for the existing structure.

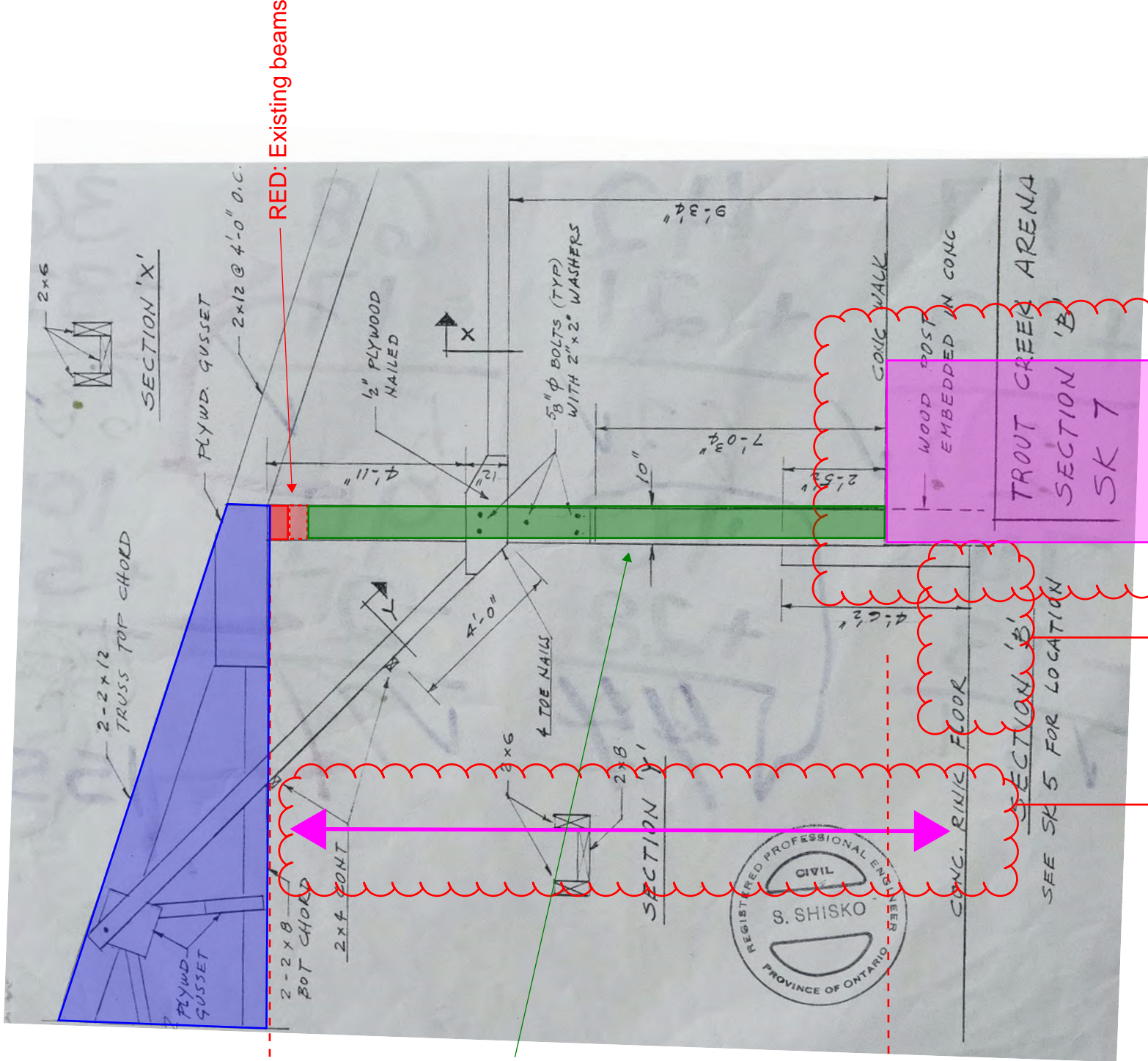
If you have any questions about the recommendations outlined above, please contact the undersigned at your convenience.



Per

Steven Adema, P.Eng.
Director of Engineering, Principal
Tacoma Engineers Inc.

Encl. Foundation Remedial Details

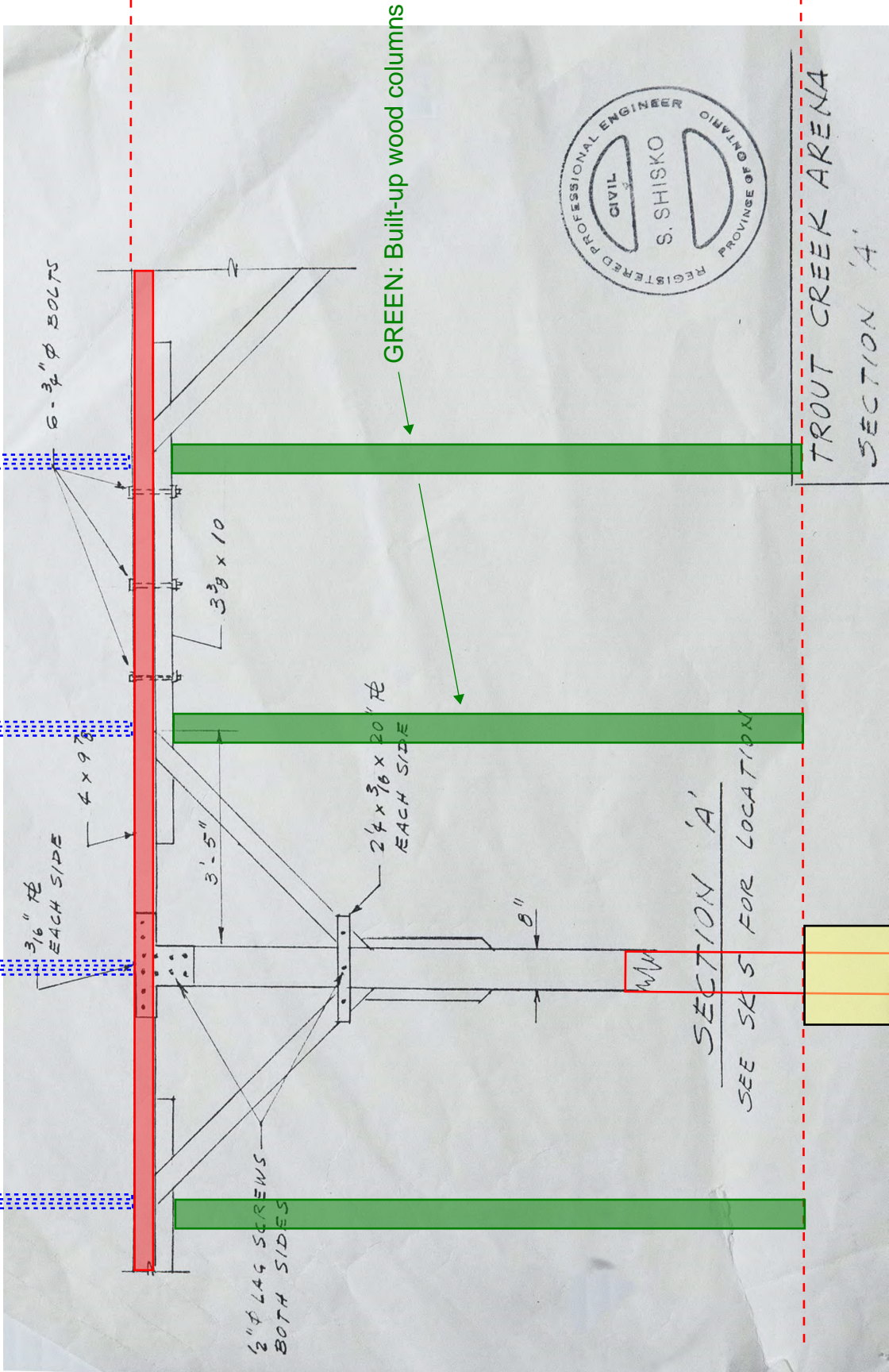


Section of existing column

sawcut and
remove extg
slab, excavate,
new concrete
pier

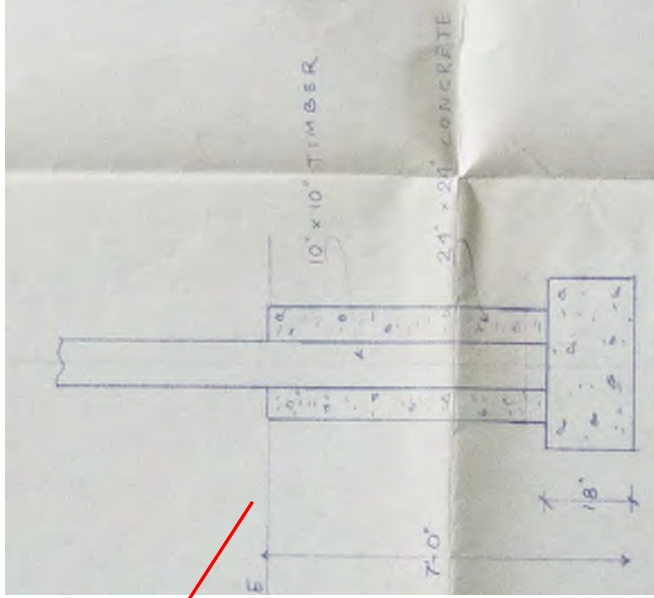
Temporary shoring post to
be added by contractor

This slab NOT
to be touched



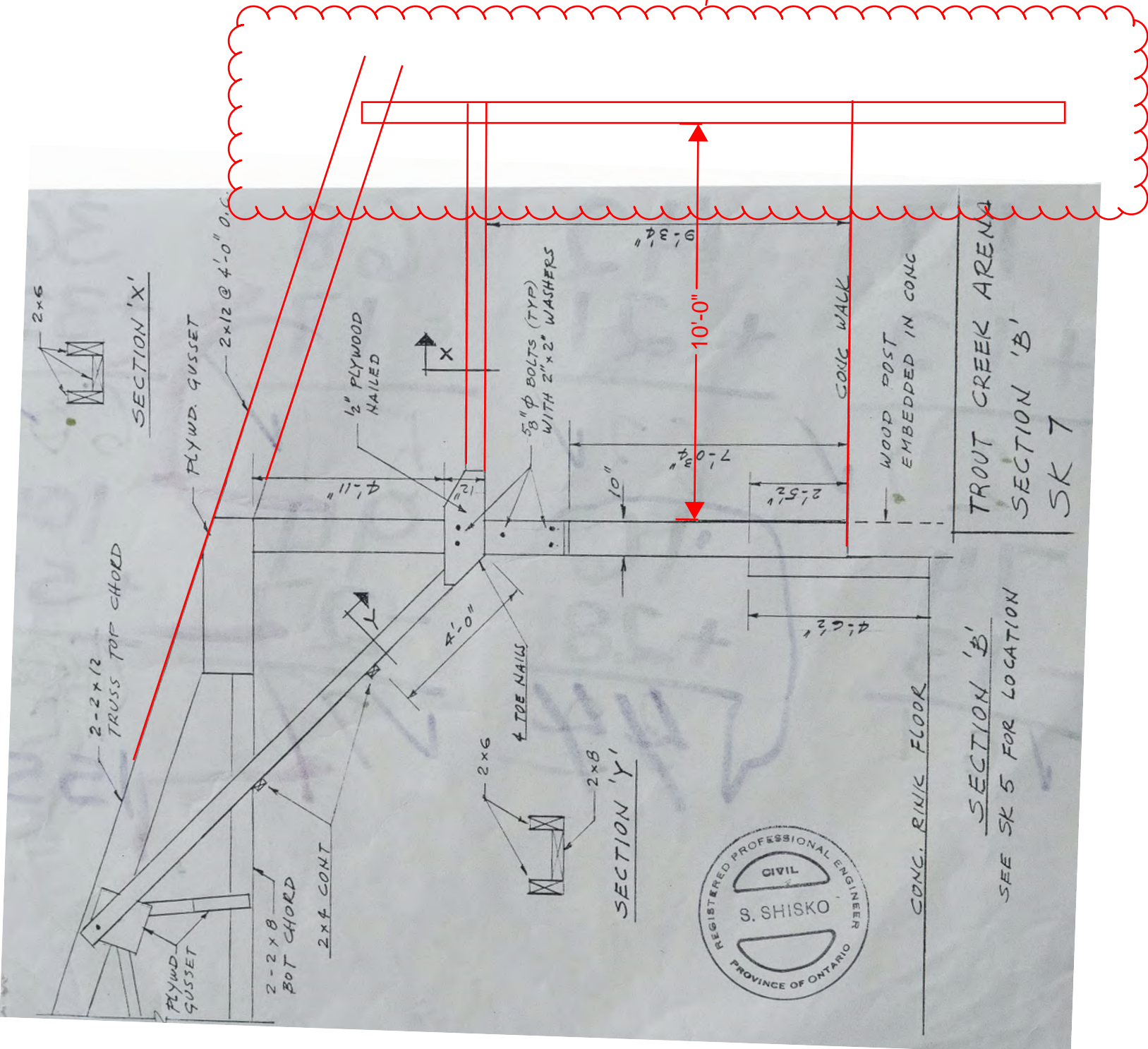
BLUE: Wood roof trusses above

GREEN: Built-up wood columns



Black with yellow -
extg concrete
foundations

Elevation of extg shoring

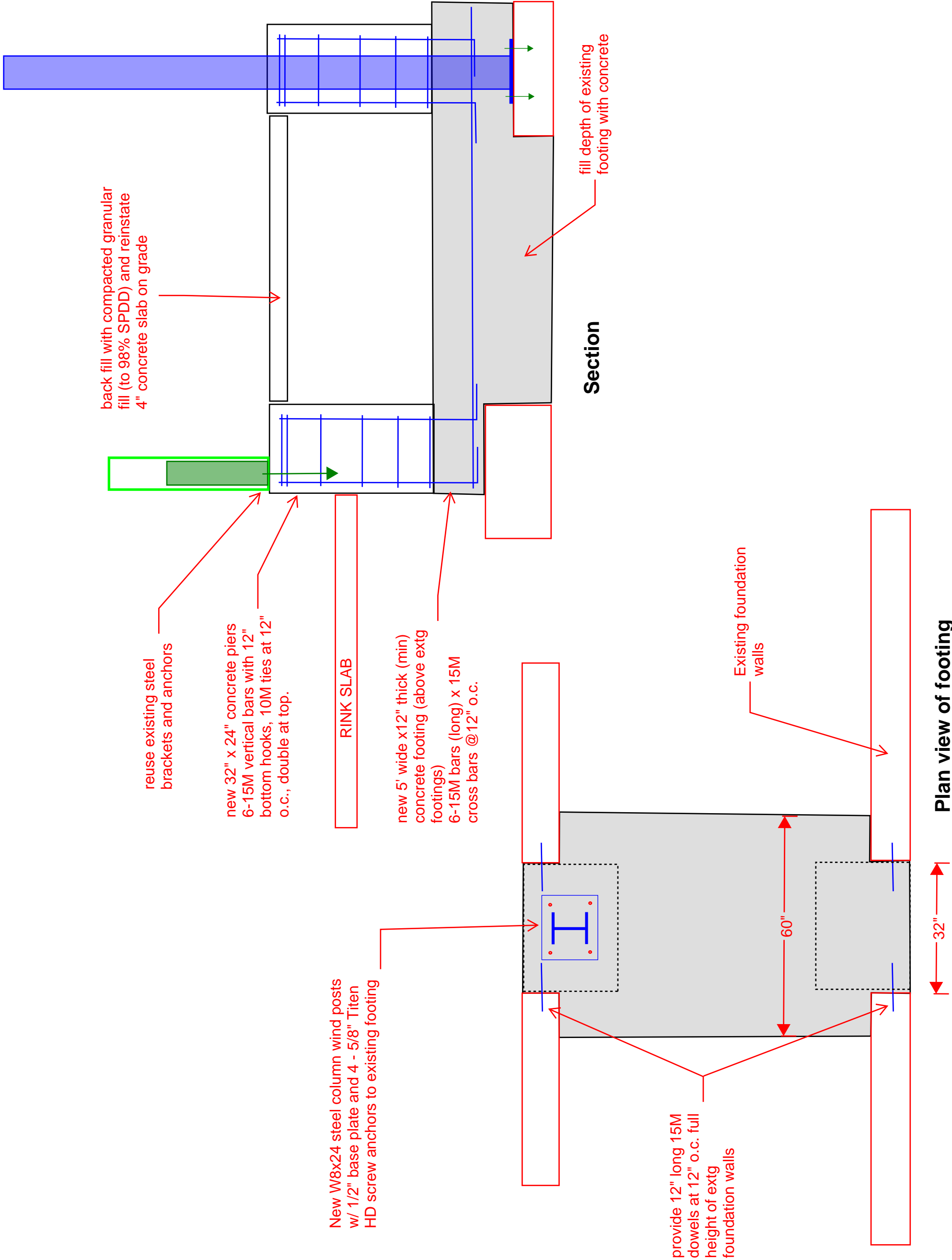


The exterior post details are unknown (covered by interior and exterior finishes). Replacement of the exterior post are also required due to anticipated deterioration (identified in a previous investigation).



SECTION 'B'
SEE SK 5 FOR LOCATION

TROUT CREEK ARENA
SECTION 'B'
SK 7





Minister of Finance | Ministre des Finances
PETER BETHLENFALVY

October 31, 2025

Dear Head of Council:

I am writing to provide you with an update on the 2026 Ontario Municipal Partnership Fund (OMPF).

We understand the importance of the Ontario Municipal Partnership Fund to communities across Ontario. The government is committed to supporting the economic vitality and sustainability of Ontario's small, northern, and rural municipalities.

To support these objectives, as announced in Fall 2024, the government will invest a further \$50 million into the OMPF for the payment cycle beginning in January 2026. This brings the two-year incremental investment to \$100 million, and increases the total funding envelope to \$600 million. This continued enhancement for 2026 will once again be targeted towards small, northern, and rural municipalities, as well as those with a limited property tax base. This funding will assist municipalities in providing critical services to people across the province.

With the further \$50 million enhancement to the OMPF, each of the program's core grant components will again increase in 2026. The program will remain responsive to changing circumstances of individual core grant recipient municipalities through annual data updates and related adjustments. Transitional assistance will also ensure that core grant recipient municipalities in northern Ontario receive at least 90 per cent of their 2025 OMPF allocation, while those in southern Ontario receive at least 85 per cent.

In addition, starting in 2026, municipalities who are ineligible for core grants will be gradually phased-out of Transitional Assistance over a five-year period. This adjustment will allow for further investment in municipalities with measurable challenges, through the OMPF's four core grant components.

The enhancement to the OMPF builds on the significant increases in support that the government is providing to municipalities, including:

- An additional \$1.6 billion investment through the Municipal Housing Infrastructure Program (MHIP), increasing the total investment to \$4 billion;

.../cont'd

- A further \$1 billion investment through the Ontario Community Infrastructure Fund (OCIF) over five years, initiated in 2022; and
- An increase in annual funding for Connecting Links from \$30 million to \$45 million to support municipalities in addressing critical road and bridge improvement needs, extending the life cycle of their assets and advancing local development.

We have always been committed to working closely with our municipal partners and recognize how important the OMPF is for many municipalities. During consultations with municipalities over this past summer, the government heard perspectives and advice on municipal priorities for the program. We want to thank our municipal partners for their input on the future of the OMPF. In early 2026, the ministry will be engaging municipalities through a short survey to better understand how the OMPF is supporting local communities.

The Ministry of Finance's Provincial-Local Finance Division will be providing your municipal treasurers and clerk-treasurers with further details on your 2026 OMPF allocation. Supporting materials on the 2026 program are available on the ministry's website at [Ontario.ca/document/2026-ontario-municipal-partnership-fund](https://ontario.ca/document/2026-ontario-municipal-partnership-fund).

As we continue to work together to build up our communities and move Ontario's economy forward, maintaining a close relationship with our municipal partners remains critical. I look forward to our continued collaboration in building a stronger future for our province.

Sincerely,

A handwritten signature in black ink, appearing to read "Peter Bethlenfalvy". The signature is fluid and cursive, with a prominent loop at the end.

Peter Bethlenfalvy
Minister of Finance

c: The Honourable Rob Flack, Minister of Municipal Affairs and Housing
The Honourable Lisa M. Thompson, Minister of Rural Affairs

File # B28/POWASSAN/2025

October 24, 2025

Planning Report: Municipality of Powassan, Consent Application: B28/POWASSAN/2025

Background

Jerry Newell (Hallstead Farms) has applied for Consent to the North Almaguin Planning Board. The Application has been circulated to the Municipality of Powassan for comment. The Application for Consent proposes to create one (1) new lot and retain one (1) lot on the subject property. Mr. Newell has concurrently applied for an earlier lot creation known as B23/POWASSAN/2025 for the same property. A Planning Report was circulated and heard at the Council Meeting on September 16, 2025. Due to the current Canada Postal strike, the North Almaguin Planning Board October meeting was postponed; both applications are expected to be heard at the December 4, 2025, Planning Board meeting.

Location and Lot Description

The subject lands are legally described as Part of Lot 35, Concession 2 (Himsworth) PIN 52212-0383, in the Municipality of Powassan, District of Parry Sound. The property currently has no civic address with frontage on Provincial Highway 522. The location of the subject lands is shown in Figure 1. The property is vacant. A desktop review shows the subject property is generally treed land with two small creeks and a small access point in the southeast corner to the South River. The proposed lot line between the lots borders a small creek. The proposed severed lot is intended to be used for a future rural residential use. The retained lot will remain vacant or a future residential use as indicated by the submitted application.

Proposal Description

The subject property is approximately 30.0 hectares in size (75.0 ac), with approximately 402 m of frontage on Provincial Highway 522. The proposed severed lot would have an area of approximately 1.0 ha (2.5 ac) and 116.3 m (\pm 382 ft) of frontage. The retained lot would maintain approximately 23.7 ha (\pm 58.6 ac) and an approximate frontage of 292.8 m (\pm 961 ft) on Highway 522. For clarity, Figure 2 illustrates both proposed severed lots labeled as B23/2025 for the previous application and B28/POWASSAN/2025, the proposed lot subject to this report.

The current (2003) Municipality of Powassan Official Plan was recently reviewed, updated and Council adopted it on September 16, 2025. This application has been reviewed against both documents for conformity.

The subject property is designated as Rural Area in both Official Plans as shown on Schedule A. The property is zoned Rural (RU). The 2003 Official Plan schedules identify the property with cold-water streams, and associated wetlands on Schedule B. The 2025 Official Plan identifies the property with cold-water streams, flood plains and unevaluated wetlands on Schedule B1, and Appendix A illustrates the property as generally a “moderate” wildland fire hazard area.

The application has also indicated that area properties do have minimal livestock (cows), but no permanent structures exist that would house livestock. Comments from the applicant’s consultant (Tulloch Consulting) are included in the application confirming an MDS calculation would not be required for the proposed lot creation.

Figure 1: Location Map

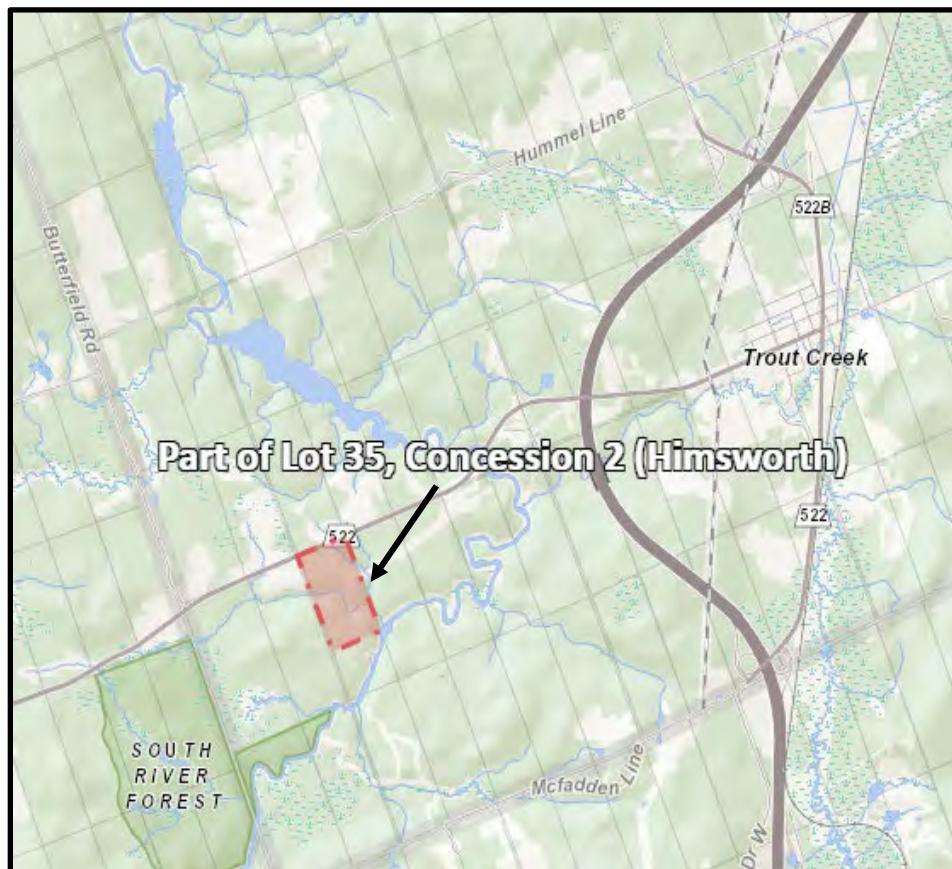
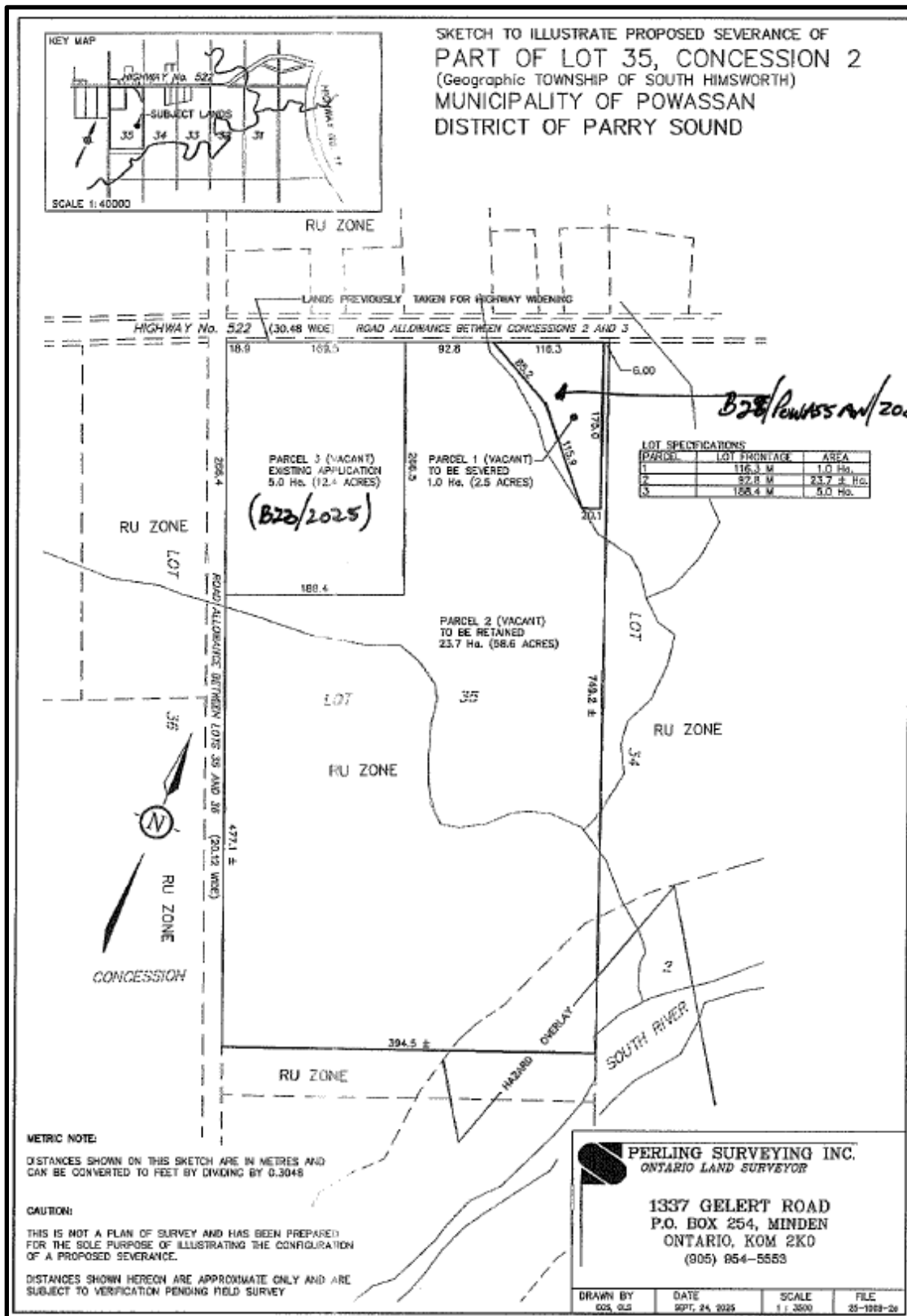


Figure 2: Proposed Severance



Policy Analysis

Provincial Planning Statement, 2024

The subject property is located in the Rural Area and on Rural Lands according to the PPS. The relevant policies have been provided.

Lot creation in the Rural Lands is permitted and Section 2.6.1 states:

c) residential development, including lot creation, where site conditions are suitable for the provision of appropriate sewage and water services...

The following policies also apply:

2.6.2. Development that can be sustained by rural service levels should be promoted.

2.6.3. Development shall be appropriate to the infrastructure which is planned or available, and avoid the need for the uneconomical expansion of this infrastructure.

2.6.4. Planning authorities should support a diversified rural economy by protecting agricultural and other resource-related uses and directing non-related development to areas where it will minimize constraints on these uses.

2.6.5. New land uses, including the creation of lots, and new or expanding livestock facilities, shall comply with the minimum distance separation formulae.

Section 4.1 of the PPS refers to Natural Heritage policies where:

1. Natural features and areas shall be protected for the long term.

2. The diversity and connectivity of natural features in an area, and the long-term ecological function and biodiversity of natural heritage systems, should be maintained, restored or, where possible, improved, recognizing linkages between and among natural heritage features and areas, surface water features and ground water features.

3. Natural heritage systems shall be identified in Ecoregions 6E & 7E1, recognizing that natural heritage systems will vary in size and form in settlement areas, rural areas, and prime agricultural areas.

...

8. Development and site alteration shall not be permitted on adjacent lands to the natural heritage features and areas identified in policies 4.1.4, 4.1.5, and 4.1.6 unless the ecological function of the adjacent lands has been evaluated and it has been

demonstrated that there will be no negative impacts on the natural features or on their ecological functions.

Section 4.2 is policy relating to Water, where:

2. Development and site alteration shall be restricted in or near sensitive surface water features and sensitive ground water features such that these features and their related hydrologic functions will be protected, improved or restored, which may require mitigative measures and/or alternative development approaches.

Section 5.2 of the PPS outline policies relating to Natural Hazards where the property has been identified with areas of potential flooding and potential wildland fire risk.

2. Development shall generally be directed to areas outside of:

- a) hazardous lands adjacent to the shorelines of the Great Lakes -St. Lawrence River System and large inland lakes which are impacted by flooding hazards, erosion hazards and/or dynamic beach hazards;*
- b) hazardous lands adjacent to river, stream and small inland lake systems which are impacted by flooding hazards and/or erosion hazards; and*
- c) hazardous sites*

...

9. Development shall generally be directed to areas outside of lands that are unsafe for development due to the presence of hazardous forest types for wildland fire.

Development may however be permitted in lands with hazardous forest types for wildland fire where the risk is mitigated in accordance with wildland fire assessment and mitigation standards.

The proposed new lot creation is not proposed in the areas of potential flooding, and the retained lot has substantial land outside of any potential flooding areas. The 2025 Official Plan generally shows the property as moderate wildland fire risk.

MDS calculations will not be required as previously mentioned as no livestock buildings or manure storage is within proximity to the new lot creation. The natural heritage features on the property will remain entirely on the retained lot and appear to maintain substantial lands outside of the features for appropriate future uses.

The new lot creation borders a small cold-water stream where development and site alteration shall be restricted. The PPS defines 'Development' to include "the creation of a new lot."

The proposed severance has been reviewed against the relevant policies of the PPS, and the application is found to be consistent with the PPS, provided future development and site alteration is not permitted within proximity to the cold-water stream.

Growth Plan for Northern Ontario, 2011

The Municipality of Powassan is located within the Growth Plan for Northern Ontario Area and thus decisions are required to conform with this Plan. The purpose and guiding principles of the plan provide a 25-year vision of growth for the northern economy, people, communities, infrastructure, environment, and aboriginal peoples. The application has been reviewed against the applicable policies of this document and has been found to conform to the intent and purpose.

Municipality of Powassan Official Plan, October 2003

The subject property is designated Rural Area in the 2003 Official Plan on Schedule A and cold-water streams and wetlands are identified on Schedule B. The following policies apply to the proposed severance. An excerpt is shown in Figure 3.

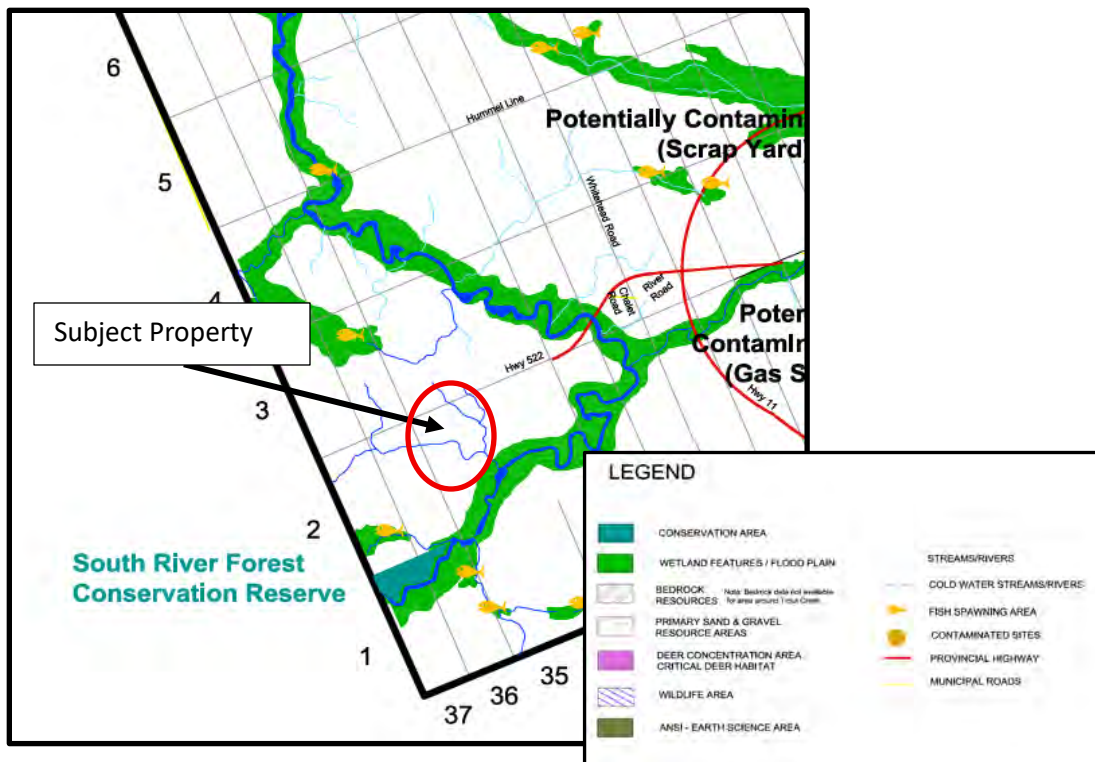
Section 4.18 relates to Private Sewage Disposal and Water Systems where:

4.18.1 No development shall be permitted unless it can be shown to the satisfaction of the Municipality that there is an adequate water supply, sewage disposal system to service the development. In addition, no development shall be permitted unless Council is satisfied that the development will not have an adverse impact on neighbouring wells and sewage disposal systems.

4.18.2 In considering impacts on ground water quality and quantity, the Municipality shall consider the cumulative impacts of development on the sustainability of ground water resources. Where the Municipality is aware of potential problems related to water supply or sewage disposal in an area, developers may be required to submit reports from a qualified engineer providing evidence that site conditions are suitable for development.

A letter dated July 14, 2025, from the North Bay Mattawa Conservation Authority (NBMCA) was submitted with this application reflecting the creation of 4 new lots. The letter concluded that there were multiple suitable locations to accommodate sewage systems. Given this application is for the creation of one new lot and one retained it is our understanding that both the severed lot and retained would continue to have multiple suitable locations for sewage systems.

Figure 3: Official Plan (2003) – Schedule B



Section 4.20 – Surface Water Quality policy states that:

Preservation of water quality is a significant consideration in reviewing any development proposal adjacent to and in proximity to a watercourse or lake. In order to preserve water quality, development should be set back 30 metres from the top of bank adjacent to cold water or unclassified rivers and streams and 15 metres from other water features. Unless it is impractical to do so, septic systems shall be located at least 30 metres from a watercourse or water body. As a condition of development approval, the natural shoreline vegetation shall be preserved within 30 metres of all watercourses and water bodies wherever possible.

Section 4.22 is policy relevant to area wetlands, where:

4.22.1 Locally significant wetlands are shown on Schedule B. Wherever possible these areas should be left in their natural state. Where it can be demonstrated to the satisfaction of Council that there is no reasonable alternative for the logical development of lands, other than to develop a portion of a locally significant wetland, the Municipality may

permit the development and may impose site plan control to ensure that the appropriate mitigation measures are employed to minimize the impact on the wetland.

4.22.2 Areas that are subject to flooding under regional flooding conditions or are covered with water during significant portions of the year shall be considered as Environmental Protection Areas despite being otherwise designated on Schedule A. When lands within the Municipality are developed, additional Environmental Protection Areas may be identified in the Zoning By-law without amending this Plan.

4.22.3 Prior to approving any development that is within 60 metres of a wetland feature, the proponent shall submit an Environmental Impact Assessment to the satisfaction of the Municipality in consultation with the Ministry of Natural Resources. Any development permitted in these areas shall incorporate the recommendations of the Environmental Impact Assessment.

A desktop review shows the proposed new lot creation is over 60 metres from any identified wetland and an Environmental Impact Assessment would not be required.

Section 5.7 are Rural Area policies in the Official Plan that apply the proposed application. Low-density residential uses are permitted uses of Section 5.7.1. The proposed retained and severed lots meet the minimum lot size outlined in Section 5.7.2 for servicing and is supported by the letter from the NBMCA.

Under Section 5.7 Rural Area, limited new lot creation is permitted, provided (Section 5.7.3):

i) New lots developed for residential purposes will be limited as follows:

*a) a maximum of two lots from any parcel of land that existed on January 1, 1996;
or*

b) infilling where the proposed lot would be located within an area where six or more residential dwellings exist within 400 metres of each other measured along a municipal roadway. When reviewing planning applications submitted in neighboring municipalities the impact of the proposed development on the Municipality of Powassan is the primary consideration.

ii) The total number of lots created in Rural area should not exceed 15 per year;

iii) New residential lots may only be created on municipal roads-maintained year round in areas where the Municipality and School Boards are presently providing services; and,

iv) The density of development in any residential cluster where development is permitted under section 5.7.3 (i)(b) above, shall not be less than 1.0 unit per hectare;

v) In addition, new lots may be created for seasonal residential purposes on the lakes in the Municipality subject to satisfying the general development policies in section 4 and the land division policies in Section 8 of this Plan.

The proposed meets the intent of Section 5.7.3, the proposed lot will be the second severed lot from the original parcel, less than 15 new lots were created in Powassan this year, the lots will front on a municipally maintained year-round road and will meet the minimum 1.0 ha size.

Section 8.0 of the Official Plan refers to the policies of Land Division. The Applications are generally supported by the policies provided they meet the specific criteria of Section 8.1.1:

ii) the lot size and setback requirements will satisfy specific requirements of this Plan and meet the implementing zoning by-law requirements;

vi) the lot size, soil and drainage conditions must allow for an adequate building site and to allow for the provision of an adequate means of sewage disposal and water supply, which meets the requirements of the Building Code. New lots in Rural areas shall have a minimum lot size of 1.0 ha or be in keeping with policy 5.7.3 iv) of this Plan. Smaller lots may be considered subject to the applicant providing a hydrogeological study to the satisfaction of Council demonstrating that the smaller lot is sustainable; and

ix) any lot created by severance in the vicinity of livestock operations shall meet the Minimum Distance Separation formulae.

The application meets the minimum lot size requirements for rural areas. A MDS calculation is not required and comments received from the North Bay Mattawa Conservation Authority note the proposed lots contain sufficient area to accommodate an appropriate sewage system.

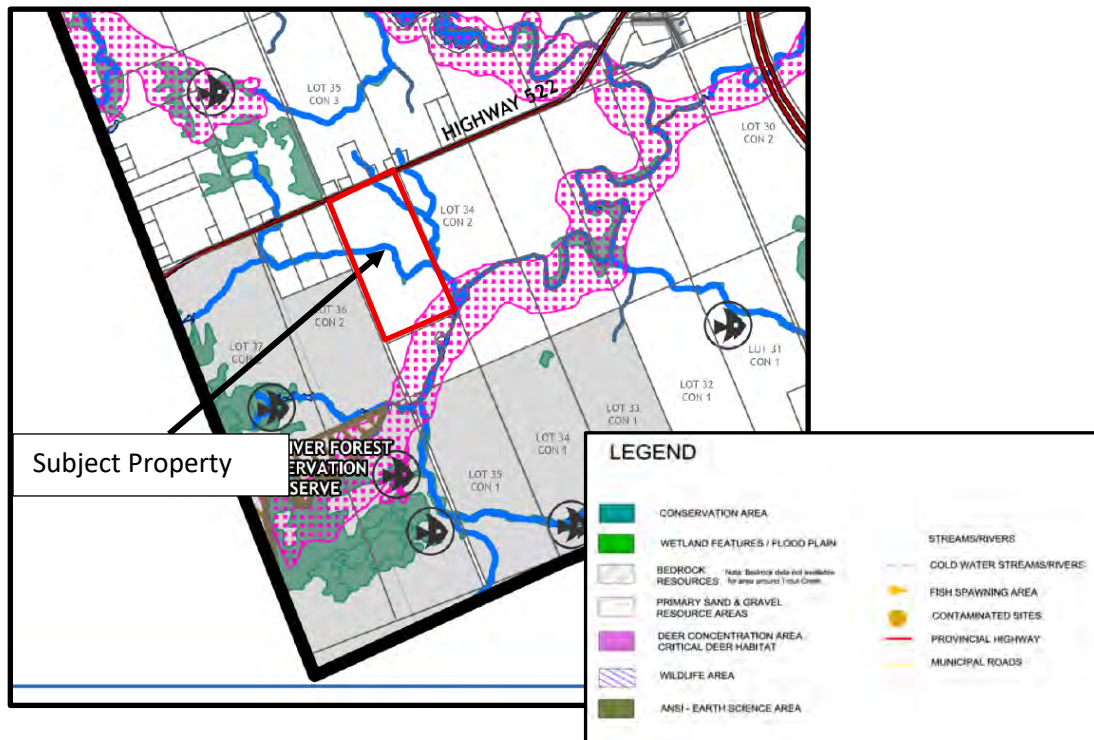
The application has been reviewed against the 2003 Official Plan where development should be generally setback 30 m from the top of bank of a cold-water stream and as a condition of approval, 30 metre vegetative buffer shall be preserved.

Municipality of Powassan Official Plan, August 2025

As the Official Plan review and update will be adopted by Powassan Council, with no significant changes, the application has been additionally reviewed against the proposed 2025 Official Plan. The subject lands continue to be designated as Rural on Schedule A of the plan and proposed Schedule B1 illustrates cold-water streams, floodplains and unevaluated wetlands. Figure 4 illustrates the natural heritage features of the property below.

New schedules now show potential areas of flooding along the property's creeks and Section 4.19 would apply. The proposed severed lot is not in proximity to the potential flood hazard or the property's wetlands. Both lots will border a cold-water stream.

Figure 4: Official Plan (2025) – Schedule B



Section 4.24.1 is policy relating to development in proximity to water courses where:

Preservation of water quality is a significant consideration in reviewing any development proposal adjacent to and in proximity to a watercourse or lake. In order to preserve water quality, development should be set back 30 metres from the top of bank adjacent to cold water or unclassified rivers and streams and 15 metres from other minor water features. Unless it is impractical to do so, septic systems shall be located at least 30 metres from a watercourse or water body. As a condition of development approval, the natural shoreline vegetation shall be preserved or re-established where vegetation has been removed within 30 metres of all significant watercourses and water bodies, wherever possible.

Section 4.27 is updated policy relating to Wetlands where:

An Environmental Impact Statement shall be required where development or site alteration is proposed within 120 metres of any Provincially Significant Wetland or within 30.0 metres of any other wetland, as identified on Schedule 'B1'. Development and site

alteration adjacent to wetlands shall only be permitted if it can be demonstrated that it will not result in a negative impact on the wetland.

The proposed lot configurations use the property's small creek as a natural boundary line. Identified as a cold-water stream, policy requires a 30-metre setback from the top of bank and a 30 metre naturally vegetated buffer to protect and preserve the water feature.

New policy of the 2025 Official Plan includes policies pertaining to wildland fire risk. Mapping shows the risk as moderate and no assessment would be required.

Section 5.8 is the updated policies for Rural Areas where low-density residential uses continue to be permitted. The NBMCA letter submitted with the application also satisfies servicing requirements for new residential lots as described in Section 5.8.2 and Section 4.21.

Section 8.1 of the plan refers to Land Division by severance where new lots need to meet the criteria of Section 8.1.1:

8.1.1 Criteria

Every severance application received by Council and Planning Board for the purpose of creating a new lot shall meet the following applicable criteria:

i) The creation of lots may be permitted by severance (consent) if it has been established that the development would not more appropriately proceed by way of plan of subdivision or plan of condominium.

ii) Severances (consents) that would contribute to ribbon or strip development or unplanned or uneconomical extension of infrastructure between Settlement Areas shall not be approved.

iii) Applications for severances (consent) that would result in a parcel being landlocked shall not be approved.

iv) the proposed severed and retained lots:

a. Front onto an open, improved public road that is maintained on a year-round basis by the Municipality, unless a recreational property fronting onto a lake can be accessed via a private road leading to a public road that is maintained year-round.

(vi) If the intent and purpose of this plan is maintained:

b. Satisfy the minimum lot area requirements established for any land use/land use designation of this Plan, and in accordance with the Zoning By-law.

- c. Achieve an appropriate lot configuration that is compatible with the surrounding community character and does not restrict the development of other parcels of land.*
- d. Can be serviced by the Municipality's infrastructure without adversely affecting the Municipality's finances, or by private well and wastewater disposal system where municipal services are not planned or existing.*
- e. Can be supplied with other municipal services such as fire protection and road maintenance, without adversely affecting the Municipality's finances.*
- v) The Municipality shall consider the impact of a new residential lots created by severance (consent) with the potential to expand the agricultural activity of any adjacent agricultural operation when assessing the required Minimum Distance Separation (MDS) Formulae and the need to potentially increase it in the future.*
- vi) Applicants of a proposed severance (consent) may be required to prepare studies in accordance with the requirements of this Plan to assess the impacts of the proposal and any mitigation strategies.*
- vii) The Municipality may require as a condition of approval that an applicant enter into an agreement with the Municipality regarding such conditions as it deems appropriate, including but not limited to financial requirements, the provision of on and off-site services, strategies to mitigate environmental impacts, sustainable building and site design features, and any other site planning requirements to protect health and safety, and promote compatibility with the surrounding community character.*
- viii) Lots for hunt camps, fishing camps or similar uses may be permitted in keeping with policies 7.3 and 7.4 of this Plan.*

The application has been reviewed against the 2025 Official Plan as adopted. Development should be 30 m from the top of bank of a cold-water stream, and a 30 m vegetative buffer shall be maintained along a watercourse.

Municipality of Powassan Zoning By-law No. 2003-38

The proposed severance would be considered Rural Zone (RU) in the municipal Zoning By-law No. 2003-38. The Applications identify the future proposed use of a single detached dwelling, considered a "Column B Use", and would need to meet the requirements shown in Figure 5. The proposed severance would comply with the minimum requirements of "Column B Uses" for 1.0 ha of lot area of 1.0 ha and 50 m of frontage.

Figure 5: Zoning Uses and Regulations

4.4 RURAL (RU) ZONE			
No person shall within any Rural (RU) Zone use any land, or erect, alter or use any building or structure except in accordance with the following provisions:			
4.4.1 Permitted Uses			
Column A Uses		Column B Uses	
i)	farm	i)	single detached dwelling
ii)	farm produce sales outlet	ii)	duplex dwelling
iii)	fire hall	iii)	semi-detached dwelling
iv)	hunt camp	iv)	bed and breakfast
v)	kennel	v)	home occupation
vi)	lodge or boarding house	vi)	home industry
vii)	municipal or provincial offices or works garage	vii)	hobby farm
viii)	resource management activities	viii)	group home
ix)	riding school or boarding stables	ix)	public park
x)	an accessory farm dwelling on one lot of at least 30 hectares (75 acres)	x)	veterinary hospital
		xi)	observatory
4.4.2 Regulations for Permitted Uses			
		Column A Uses	Column B Uses
i)	Minimum Lot Area	10 ha	1.0 ha
ii)	Minimum Lot Frontage	135 m	50 m
iii)	Minimum Front Yard	30.0 m	30 m
iv)	Minimum Interior Side Yard	15.0 m	15.0 m
v)	Minimum Exterior Side Yard	15.0 m	15.0 m
vi)	Minimum Rear Yard	15.0 m	15.0 m
vii)	Maximum Lot Coverage	25%	25%
viii)	Maximum Height	10.5 m	10.5 m
ix)	No kennel shall be located within 120 metres (400 ft) of a residential dwelling on another lot.		
	Minimum Lot Area for a hobby farm		2.0 ha

Setbacks in the RU Zone require a 15.0 m interior side yard setback and Section 3.29 of the Zoning By-law only requires a 10.0 m setback from watercourses. Given the policy requirements of the Official Plan, existing zoning regulations will not confirm development within 30 m of top of bank from the cold-water stream will be excluded.

Recommendation

The proposed lots comply with the minimum lot size requirements and have frontage on a public road. The NBMCA states that the new lots can adequately be serviced by on-site sewage systems. Provided appropriate setbacks from cold-water streams can be maintained and natural vegetative buffers along watercourses are preserved, the proposed Consent Application generally meets the intentions of the 2024 Provincial Planning Statement and the Growth Plan for Northern Ontario, would conform to both the current and updated Municipal Official Plans, will comply with the applicable zoning standards, and represents good planning.

It is our recommendation that Council include a condition requiring the applicants submit a zoning amendment application to require future development to be setback 30 metres from the

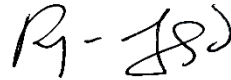
top of bank for the severed and retained lands and that the other standard conditions of consent are included.

Respectfully Submitted,

PLANSCAPE INC.



Stefan Szczerbak, M.Sc, MCIP, RPP
Planning Consultant



Ryan Lloyd MCIP, RPP
Planning Consultant



NORTH ALMAGUIN PLANNING BOARD

250 Clark Street, Suite 126
P.O. Box 57, Powassan Ontario P0H 1Z0
705-724-6758

Email: northalmaguinplanningboard2018@gmail.com

Website: <http://napb.ca>

B28/Powassan/2025

AN APPLICATION FOR CONSENT UNDER SECTION 53 OF THE PLANNING ACT, R.S.O. 1990 c.P.13

PLEASE PRINT OR TYPE AND COMPLETE ALL APPROPRIATE BOXES.

1. APPLICANT INFORMATION

1.1 Applicant(s):

Name(s) of Property Owner(s): HALLSTEAD FARMS, JERRY NEWELL

Day Time Phone #s: Home: 519-765-4239 Mobile: _____ Business: _____

Mailing Address: 11525 HACIENDA RD. SPRINGFIELD

Postal Code: N0L 2J0 Email Address: hallsteadfarms@qmtelecom.net

1.2 Agent for the Applicant

The property owner(s) may appoint a person or a professional firm to act on their behalf for processing this application and attending the meeting at which it will be considered, or a person who is to be contacted about the application for communication. This may be a person or firm acting on behalf of the property owner(s). Owner authorization is required in Section 11 of this form if the applicant is an agent appointed by the owner.

Name of Contact Person/Agent: _____

Phone #s: Home: _____ Mobile: _____ Business: _____ Fax: _____

Address: _____

Postal Code: _____ Email Address: _____

2. LOCATION OF THE SUBJECT LAND

2.1 District of Parry Sound:

Tax Roll Number: 49-59-010-002-07108-0000

Municipality / Unincorporated Township: HIMSWORTH

Municipal Address (Civic Address): NONE

Legal Description: Concession: 2 Lot Number: 35 Registered Plan: _____ Lot(s): _____ Reference Plan: _____ Part(s): _____

Parcel Number: _____ PIN: 52212-0383

2.2 If there are existing easements or restrictive covenants affecting the subject land, provide the legal description and its effect to the subject land. Attach a copy of the relevant documentation.

Hi Karin,

It was not my original intent to apply for the 2.5 acre severance but James Slessor's daughter wants to build close to her dad who lives $\frac{1}{2}$ mile up the road since he is getting on in years - don't tell him I said that. I discussed this at length with Kim Bester who said that it would be allowed when the new legislation is enacted later this year. If this is true, kindly inform me via e-mail so that the surveyor can pound his bars into unfrozen ground.

Sincerely

Jerry Newell



3. PURPOSE OF THE APPLICATION:

3.1 Type and Purpose of proposed transaction(s) that requires the Consent:

☒ Create a new lot (or re-establish an existing parcel) / ☐ Lot Addition / ☐ Easement

Other: Charge ☐ / Release a Mortgage ☐ Lease ☐ Validate Title ☐ [Lands located in Municipality of Powassan only per O. Reg. 697/98]

3.2 Name of Person(s), if known, to whom the land or interest in land is to be transferred, leased or charged:

3.3 If a lot addition, identify the lands to which the parcel will be added? _____

4. DESCRIPTION OF SUBJECT LAND AND SERVICING INFORMATION

(Fully complete each Section in order that your application can be process. Incomplete applications will be delayed until they are complete.)

4.1 Description / Size <i>Metric and Imperial</i>	SEVERED	RETAINED
Frontage	116.5 metres 382 feet	286 metres 938 feet
Depth	175 metres 574 feet	754.6 metres 2475 feet
Area	1 hectare 2.5 acres	33 hectare 82.5 acres
4.2 Existing Use of Property:	vacant	vacant
4.3 Existing Building or Structures and date of construction	none	none
4.4 Proposed Use of the Severed and Retained Parcels	dwelling	vacant + dwelling
4.4 Road Access: Provincial highway MANDATORY: Provide written comments from MTO North Bay. 705-497-5401	yes (see mto email) Re. Hwy 522	yes
Municipal road, maintained all year		
Municipal Road, seasonally maintained		
Other Public Road (e.g. Local Roads Board)		
Right of Way / Easement (see Section 4.8 for private roads)		
MNRF Road Allowance [Provide written report from the MNRF if an MNRF road allowance is used for access to the subject land. North Bay Office: 705-475-5550]		
4.5 Water Access Lots: Documented proof of on-shore parking and docking facilities is mandatory. (e.g. lease with an existing marina or dedication of a portion of the retained parcel provided the retained parcel provided it is accessible by land.) Also provide the approximate distance of these facilities from the subject land and the nearest public road.		

Re: MTO Comments: Proposed Severance at Lot 35 Con 2, South Himsworth, Powassan

From hallsteadfarms@amtelecom.net <hallsteadfarms@amtelecom.net>

Date Thu 8/7/2025 1:42 AM

To Nimoh, Gabriel (MTO) <Gabriel.Nimoh@ontario.ca>

Thanks for your help.

From: Nimoh, Gabriel (MTO) <Gabriel.Nimoh@ontario.ca>

Sent: Wednesday, August 6, 2025 10:05 AM

To: hallsteadfarms@amtelecom.net <hallsteadfarms@amtelecom.net>

Cc: Villneff, Diane (MTO) <Diane.Villneff@ontario.ca>

Subject: MTO Comments: Proposed Severance at Lot 35 Con 2, South Himsworth, Powassan

Hello Newell,

Thank you for contacting the Ministry of Transportation in regard to the proposed severance of your property located at Lot 35 Con 2, South Himsworth, Powassan to create three new residential lots with frontage on Hwy 522 and one retained lot.

The Ministry of Transportation of Ontario (MTO) would not object to the severance of the subject property in principle and would permit the proposed entrances for both the severed and retained lots from Hwy 522 that would meet all MTO requirements, upon completion of the severance.

Please note, the subject property is located within the MTO's permit control area. Therefore, the placement of any buildings/structures or any site grading/paving within 45 meters of the Hwy 522 property line will require an MTO building/land use permit.

Also, any new buildings or structures on the severed and retained lots must have a minimum setback of 8.0 metres from the highway property limit, and wells must have a minimum setback of 30 metres from the highway property limit. Any future development or change in land use must be subject to MTO review.

Further information with respect to MTO permits can be obtained by contacting Diane Villneff, Corridor Management Officer at Diane.Villneff@ontario.ca or by visiting www.hcms.mto.gov.on.ca.

As circumstances and policies change over time, the comments provided are valid for one year from the date of this email message.

Regards,
Gabriel

Gabriel Nimoh (He/Him)

Corridor Management Planner | North Region - Area East



4.5 Water Supply	SEVERED	RETAINED
Publicly owned and operated piped water system	none	none
Privately owned and operated individual well	none	none
Privately owned and operated communal well	none	none
Lake or other water body	NA	NA
Other means		
Does your property abut a lake? <i>[Is the lake deemed by the Ministry of the Environment Conservation and Parks (MOECP) to be at capacity for phosphorus load ? **1-800-461-6290 for enquiries]</i>	no	no

4.6 Sewage Disposal	SEVERED	RETAINED
Publicly owned and operated sanitary sewage system	none	none
Privately owned and operated individual septic tank <i>[MANDATORY: Attach documentation of the results of the Planning Act proposal review by the North Bay Mattawa Conservation Authority 705-474-5420]</i>	none see NBMCA letter dated 24 July 2025	none
Privately owned and operated communal septic tank	none	none
Privy		
Other Means (e.g. Advanced Treatment System) <i>** (Septic System over 10,000 litre requires Ministry of the Environment Conservation and Parks study and permit. 1-800-461-6290 for enquiries)</i>	NA	NA

4.7 Other Services (indicate which service(s) are available)	SEVERED	RETAINED
Electricity	yes	yes
School Bussing	yes	yes
Garbage Collection	no	no

4.8 IF ACCESS TO THE SUBJECT LAND IS BY PRIVATE ROAD OR OTHER PUBLIC ROAD OR RIGHT OF WAY WAS INDICATED IN SECTION 4.4, advise who owns the land or road, who is responsible for its maintenance and whether it is maintained seasonally or all year: _____



July 14, 2025

Jerry Newell (Hallstead Farms)
hallsteadfarms@amtelecom.net

Dear Jerry:

Re: Review of Planning Act Proposal, Application # PC03-PO-25
Lot 35, Con 2
Highway 522
Roll # 4959-010-002-07108-0000
Municipality of Powassan, District of Parry Sound

The Conservation Authority has received and reviewed your Application for Review of Planning Proposals and have no objections to the granting of consent as described in your application.

The Retained Lot, 24.29ha (60 acres), is currently vacant. There appeared to be two suitable locations observed on the retained portion to accommodate a sewage system.

The Severed Lot 1, 1.66ha (4.1 acres), is currently vacant. There appeared to be two suitable locations observed on this severed portion to accommodate a sewage system.

The Severed Lot 2, 1.66ha (4.1 acres), is currently vacant. There appeared to be two suitable locations observed on this severed portion to accommodate a sewage system.

The Severed Lot 3, 1.66ha (4.1 acres), is currently vacant. There appeared to be two suitable locations observed on this severed portion to accommodate a sewage system.

The Severed Lot 4, 1ha (2.5 acres), is currently vacant. There appeared to be two suitable locations observed on this severed portion to accommodate a sewage system.

All comments are based on Ontario Regulation 203/24 of the Ontario Building Code for a 3-bedroom dwelling (less than 20 fixture units and less than 200 m², 4F filter bed of 21.3 m² and a 3600 L tank), soil percolation of T-50 min/cm, and a daily design sewage flow of 1600 L/day.

Please be advised that prior to any development on the above-mentioned properties a Sewage System Permit is required. Should you have any questions or require further information please contact Derek Airdrie of our office at 15 Janey Avenue, North Bay ON, P1C 1N1 or by telephone at (705) 474-5420.

Yours truly,

Kris Rivard
DCBO - SS, Inspector On-Site Sewage System Program

c.c. Municipality of Powassan



Suite / Bureau 201
685, rue Bloem Street
North Bay, ON P1B 4Z5
(705) 472--8840
Toll free/sans frais: 1-833-622-1636
Fax/Téléc. : (705) 472-3170
www.npssts.ca

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2025-06-27

Jerry Newell

hallsteadfarms@amtelecom.net

Re: School Bus Routes
Highway 522 between Butterfield Rd and Chalet Rd, Trout Creek, ON

Dear Jerry,

With respect to your follow up inquiry involving school bus service on Highway 522 in Trout Creek, we can confirm and update our previous letter with the following. There are currently 15 school bus routes that provide service along that roadway and the surrounding area for students attending several schools in Sundridge, East Ferris, South River, North Bay, Callander and Powassan. This includes 5 different bus stops between the addresses of 85 and 190 Hwy 522 Trout Creek for students living in that section of the roadway. It is our understanding that the property in question for the severance application is on the south side of the highway within the area reviewed. Therefore, we are confident in stating that there would be school bus service provided.

The NPSSTS establishes routes and bus stops based on demand and eligibility of students. They are everchanging as students move into and out of the area school systems. We service the four local school boards and adjust routes and stop locations as required. Therefore, a new family moving into the area would have their needs met based on our eligibility guidelines as well as school attendance areas. Likewise, a stop servicing a student who graduates or moves away would be removed.

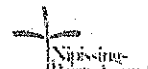
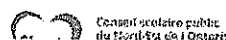
Feel free to contact me directly if you require any further information.

Yours truly,

R.C.J. (Chuck) Seguin
Executive Director
NPSSTS



Consortium Members





5. LAND USE

5.1 What is the existing Official Plan designation(s)? (Please contact the Municipality of Powassan for this information.)

RURAL

5.2 What is the Zoning, if any, on the subject land? (Please contact the Municipality of Powassan for this information.)

RURAL

If the subject land covered by a Minister's Zoning Order, what is the Plan and registration number? _____

5.3 Are any of the following uses or features on the subject land or within 500 meters of the subject land, unless otherwise specified? Please check the boxes that apply.

Use or Feature	On the Subject Land	Within 750 meters of subject land, unless otherwise specified by the applicable agency, then indicate approximate distance.
An agricultural operation including livestock facility or stockyard <i>[MANDATORY: Attach MDS work sheets from OMAFRA (Ontario Ministry of Food Agriculture and Rural Affairs)]</i>	NO	NO
A landfill	NO	NO
A sewage treatment plant or waste stabilization plant	NO	NO
A provincially significant wetland <i>[North Bay Mattawa Conservation Authority or the Ministry of the Environment Conservation and Parks]</i>	NO	NO
A provincially significant wetland within 120 meters of the subject land <i>[North Bay Mattawa Conservation Authority or the Ministry of the Environment Conservation and Parks]</i>	NO	NO
Flood Plain	NO	NO
A rehabilitated mine site	NO	NO
A non-operating mine site within one kilometer of the subject land	NO	NO
An active mine site	NO	NO
An industrial or commercial use, and specify the use (eg gravel pit)	NO	NO
An active railway line	NO	NO
Utility corridors (Natural Gas / Hydro Corridor)	NO	NO



Outlook

Re: Jerry Newell Consent Application - Lot 35, Con 2, Himsworth

From Administrator NAPB <northalmaguinplanningboard2018@gmail.com>

Date Mon 8/11/2025 2:09 PM

To MacKenzie Van Horn <mackenzie.vanhorn@tulloch.ca>

Cc Jerry Newel <hallsteadfarms@amtelecom.net>

I will provide your info on MDS with the application.

NAPBoard

705-724-6758

see our website <http://napb.ca> for information

On Mon., Aug. 11, 2025, 16:25 MacKenzie Van Horn, <mackenzie.vanhorn@tulloch.ca> wrote:

Hi Karin,

I got a call from Jerry Newell who is severing his property in Lot 35, Con 2, Himsworth. He asked me to help him with the MDS calculation for a barn at 786 ON-522. I have talked to both Jerry, and another close neighbour, and they have both told me that there is no actual barn on this property – just a lot of outbuildings. There are three cows that the owners keep, but they have a lean-to / sun shelter for the cows, and no permanent manure storage.

As per MDS Guideline #3, found on page 22 of the MDS document (<https://www.ontario.ca/files/2023-07/omafra-minimum-distance-separation-document-en-2023-07-26.pdf>) MDS setbacks are not required for field shade shelters. Thus, MDS was not completed. The board members should be able to see the sheds and lean to from the street if they take a drive out.

Feel free to attach this email to the agenda package or include it with Jerry's application.

Thanks,

MacKenzie



6. HISTORY OF SUBJECT LAND

6.1 Has the subject land ever been the subject of an application for approval of a Plan of Subdivision or Consent under the Planning Act? ☒ NO ☐ YES ☐ UNKNOWN

If yes, and if known, please provide the application file number and the decision made on the application.

6.2 If this application is a re-submission of a previous consent application, what is the original consent application number and how has it been changed from the original application?

NO

7. CURRENT APPLICATION

7.1 Is the subject land currently the subject land of a proposed Official Plan or Official Plan Amendment that has been submitted to the Ministry of Municipal Affairs and Housing for approval?

☒ NO ☐ YES ☐ UNKNOWN

If yes and if known, specify the file number and status of the application

7.2 Is the subject land the subject of an application for a Zoning By-law Amendment, Minister's Zoning Order amendment, Minor Variance, Consent or approval of a Plan of Subdivision?

☒ NO ☐ YES ☐ UNKNOWN

If yes and if known, specify the file number and status of the application.

N
W E
S

618'

HWY 522

300'

382'

PROPOSED 12.4 ACRE
SEVERANCE

2.5 ACRES

57 1/2'

20'

RAVINE

RETAINED 82.5 ACRES
- 12.4 = 60.1 ACRES

RAVINE

5 ACRES SEVERED 2010?

PRIVATE ROAD TO DAM 66' WIDE

SOUTH RIVER



NORTH ALMAGUIN PLANNING BOARD

250 Clark Street P.O. Box 57 Powassan ON P0H 1Z0

Phone: 705-724-6758 Email: northalmaguinplanningboard2018@gmail.com Website: <https://napb.ca>

PERMISSION TO ENTER

DATE: Sept 22, 2025

B28/Powassan/2025

North Almaguin Planning Board (NAPBoard)
Suite 126 250 Clark Street
P.O. Box #57
Powassan, ON P0H 1Z0

Reason for Site Visit: consent application
(e.g. Consent application, enquiry to determine viability of severance, etc)

Location: L35 C2 HIMS WORTH

(civic address [911 number] / other locational information and/or driving directions)

I hereby authorize a Member(s) of the North Almaguin Planning Board and/or its staff to enter onto the above-noted property for the limited purpose of evaluating the merits of an application for Consent under Section 53 of the Planning Act of the Planning Act, R.S.O. 1990 c.P.13, or an application for a Plan of Subdivision under Section 51 of the Planning Act of the Planning Act, R.S.O. 1990 c.P.13.

PRINT NAMES OF PROPERTY OWNER(S):

HALLSTEAD FARMS

JERRY NEWELL

SIGNED:

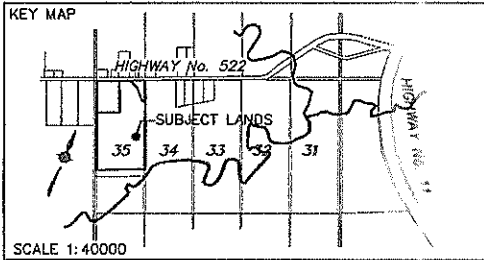
Jerry Newell
(property owner)

Hallstead Farms / Jerry Newell
(property owner) / (authorized agent)

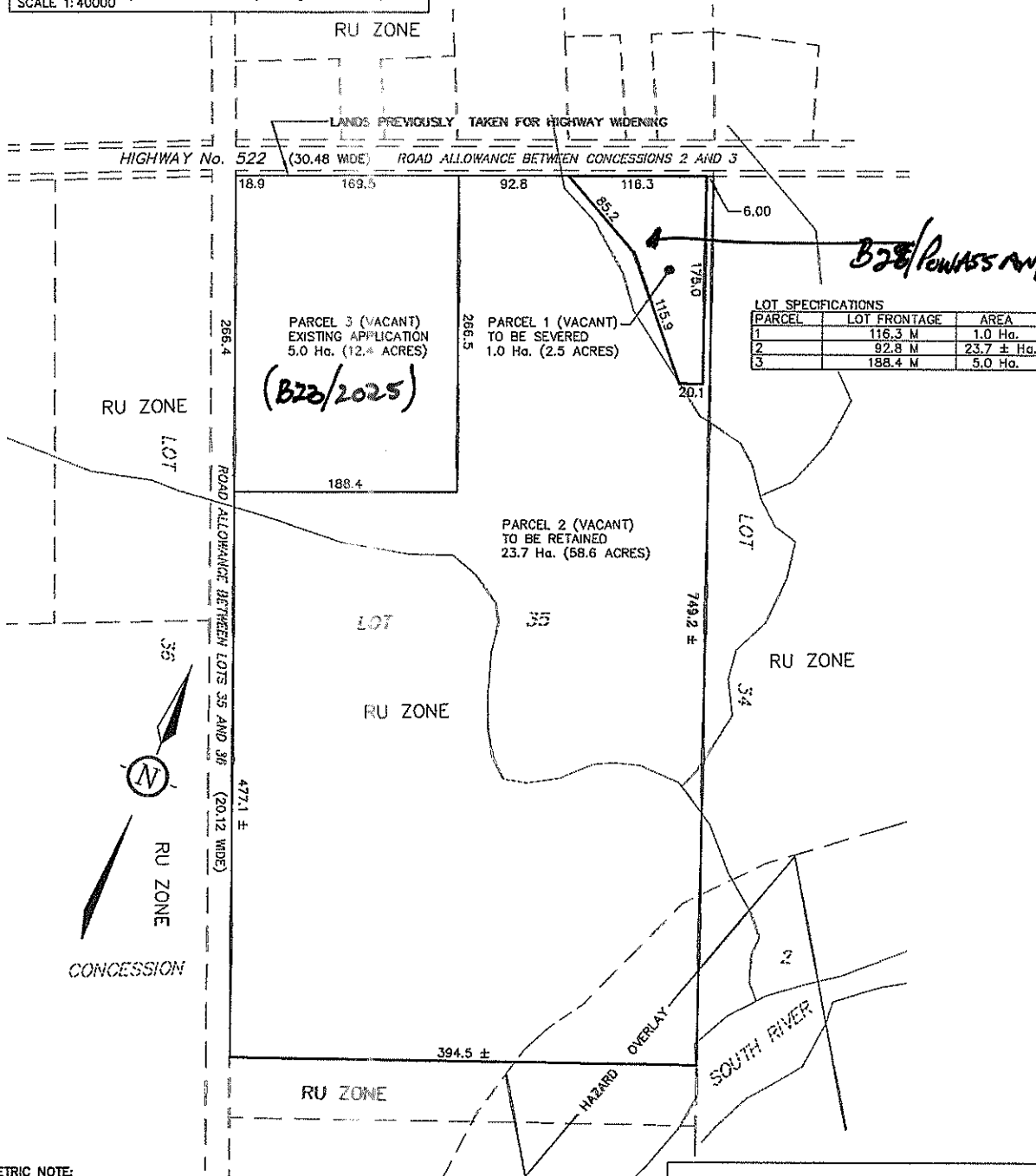
Signed this 19th day of SEPT. 2025
(date) (month) (year)

IMPORTANT

The North Almaguin Planning Board (NAPBoard) requires that the location of a property subject in a Consent application(s) [or Subdivision application on lands in the Municipality of Powassan] must be identified with a municipal address (or civic address or 911 number) or directional signage clearly visible from the road from which access is taken. Failure to accommodate inspection access to the subject location to be reviewed will result in delay in processing the application.



SKETCH TO ILLUSTRATE PROPOSED SEVERANCE OF
PART OF LOT 35, CONCESSION 2
 (Geographic TOWNSHIP OF SOUTH HIMSWORTH)
 MUNICIPALITY OF POWASSAN
 DISTRICT OF PARRY SOUND



METRIC NOTE:

DISTANCES SHOWN ON THIS SKETCH ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

CAUTION:

THIS IS NOT A PLAN OF SURVEY AND HAS BEEN PREPARED FOR THE SOLE PURPOSE OF ILLUSTRATING THE CONFIGURATION OF A PROPOSED SEVERANCE.

DISTANCES SHOWN HEREON ARE APPROXIMATE ONLY AND ARE SUBJECT TO VERIFICATION PENDING FIELD SURVEY



PERLING SURVEYING INC.
 ONTARIO LAND SURVEYOR

1337 GELETT ROAD
 P.O. BOX 254, MINDEN
 ONTARIO, K0M 2K0
 (905) 954-5553

DRAWN BY
 EGS, GLS

DATE
 SEPT. 24, 2025

SCALE
 1 : 3500

FILE
 25-1008-24



Resolution no. 2025 - _____

Date: November 18, 2025

Moved by:

Seconded by:

THAT the Report dated October 30, 2025 from PlanScape to Powassan Council recommending approval subject to standard conditions, be received.

THAT Powassan Council concurs with the requested Consent and asks that the following conditions be applied by the North Almaguin Planning Board (NAPBoard) in rendering its approval of Consent Application B29/POWASSAN/2025:

- a) That the severed lot be merged on title with the abutting property described as Parcel 10521 PSNS (Pin 52212-0036)

Carried

Defeated

Deferred

Lost

Mayor

Recorded Vote: Requested by _____

Name	Yeas	Nays	Name	Yeas	Nays
Councillor Randy Hall			Mayor Peter McIsaac		
Councillor Markus Wand					
Councillor Dave Britton					
Councillor Leo Patey					

File # B29/POWASSAN/2025

October 30, 2025

Planning Report: Municipality of Powassan, Consent Application: B29/POWASSAN/2025

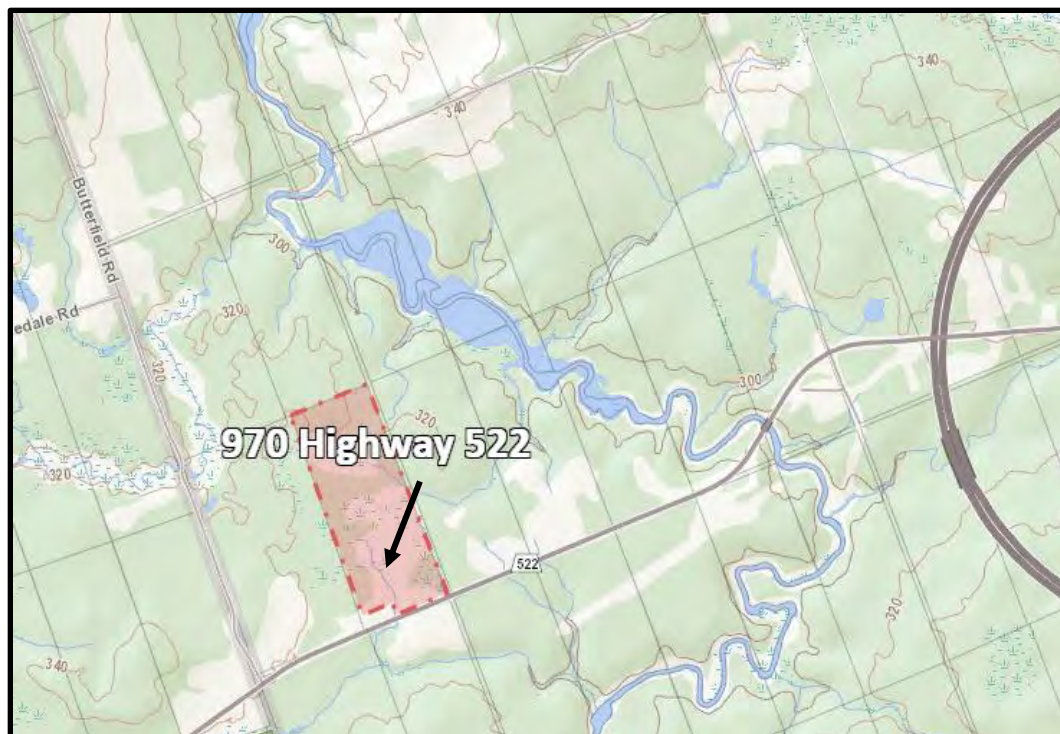
Background

Mike Simpson, from Callon – Dietz, agent representing Charles McCready and Christopher McCready applied for Consent to the North Almaguin Planning Board. The Application has been circulated to the Municipality of Powassan for comment. The Application for Consent proposes a lot-addition to an abutting property. No new lot will be created as a result of the application.

Location and Lot Description

The subject lands are legally described as Parcel 10571 PSNS, Part of Lot 36, Concession 3 (Himsworth) PIN 52212-0035, in the Municipality of Powassan, District of Parry Sound. The property is civically known as 970 Highway 522, Trout Creek. The location of the subject lands is shown in Figure 1.

Figure 1: Location Map



The application notes the property has a single detached dwelling and the proposed uses of both the retained and severed will be for residential uses. A desktop review shows that the property has additional accessory structures that appear to be a detached garage and as many as 4 other accessory structures. All existing buildings and structures will remain on the retained lot. The proposed severed lot is vacant. Available mapping shows the property is well vegetated with areas of small open fields and spaces.

Proposal Description

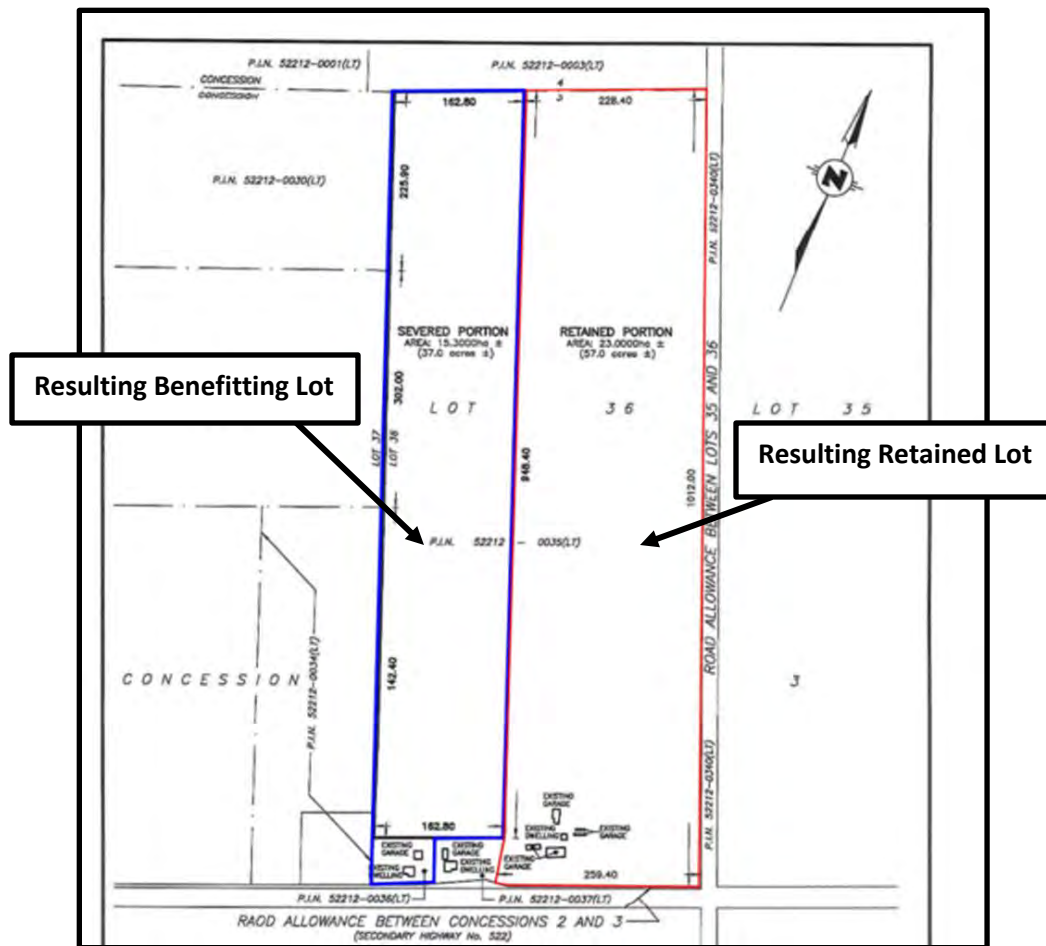
The subject property is approximately 38.3 hectares in size (94.6 ac), with approximately 259.0 m (\pm 849.7 ft) of frontage on Provincial Highway 522. The proposed severed lot would have an area of approximately 15.3 ha (37.8 ac) and no actual road frontage. The retained lot would maintain approximately 23.0 ha (\pm 56.8 ac) and retain the entire frontage of approximately 259.0 m (\pm 849.7 ft) on Highway 522; [Figure 2](#) illustrates the proposed severed lot as provided by the applicant. [Figure 3](#) shows the resulting lots. The resulting benefiting lot will have an approximate area of 15.7 ha (38.8 ac) and 67.5 m (\pm 221.5 ft) of frontage on Highway 522.

The current (2003) Municipality of Powassan Official Plan was recently reviewed, updated and Council adopted it on September 16, 2025. This application has been reviewed against both documents for conformity.

The subject property is designated as Rural and Open Space in both Official Plans as shown on Schedule A. The property is zoned Rural (RU). The 2003 Official Plan schedules identify the property with cold-water streams, wetlands and fish spawning area on Schedule B. The 2025 Official Plan identifies the property with cold-water streams, wetlands, fish spawning area and floodplains on Schedule B1, and Appendix A illustrates the property as generally a “moderate” wildland fire hazard area.

[illegible]

Figure 3: Resulting Lots



Policy Analysis

Provincial Planning Statement, 2024

The subject property is located in the Rural Area and on Rural Lands according to the PPS. The relevant policies have been provided.

The PPS is silent on lot additions or adjustments but lot creation in the Rural Lands is permitted and Section 2.6.1 states:

c) residential development, including lot creation, where site conditions are suitable for the provision of appropriate sewage and water services...

The following policies also apply:

2.6.2. Development that can be sustained by rural service levels should be promoted.

2.6.3. Development shall be appropriate to the infrastructure which is planned or available, and avoid the need for the uneconomical expansion of this infrastructure.

2.6.4. Planning authorities should support a diversified rural economy by protecting agricultural and other resource-related uses and directing non-related development to areas where it will minimize constraints on these uses.

2.6.5. New land uses, including the creation of lots, and new or expanding livestock facilities, shall comply with the minimum distance separation formulae.

Section 4.1 of the PPS refers to Natural Heritage policies where:

1. Natural features and areas shall be protected for the long term.

2. The diversity and connectivity of natural features in an area, and the long-term ecological function and biodiversity of natural heritage systems, should be maintained, restored or, where possible, improved, recognizing linkages between and among natural heritage features and areas, surface water features and ground water features.

3. Natural heritage systems shall be identified in Ecoregions 6E & 7E1, recognizing that natural heritage systems will vary in size and form in settlement areas, rural areas, and prime agricultural areas.

...

6. Development and site alteration shall not be permitted in fish habitat except in accordance with provincial and federal requirements.

...

8. Development and site alteration shall not be permitted on adjacent lands to the natural heritage features and areas identified in policies 4.1.4, 4.1.5, and 4.1.6 unless the ecological function of the adjacent lands has been evaluated and it has been demonstrated that there will be no negative impacts on the natural features or on their ecological functions.

Section 4.2 is policy relating to Water, where:

2. Development and site alteration shall be restricted in or near sensitive surface water features and sensitive ground water features such that these features and their related hydrologic functions will be protected, improved or restored, which may require mitigative measures and/or alternative development approaches.

Section 5.2 of the PPS outline policies relating to Natural Hazards where the property has been identified with areas of potential flooding and potential wildland fire risk.

2. Development shall generally be directed to areas outside of:

a) hazardous lands adjacent to the shorelines of the Great Lakes -St. Lawrence River System and large inland lakes which are impacted by flooding hazards, erosion hazards and/or dynamic beach hazards;

b) hazardous lands adjacent to river, stream and small inland lake systems which are impacted by flooding hazards and/or erosion hazards; and

c) hazardous sites

...

9. Development shall generally be directed to areas outside of lands that are unsafe for development due to the presence of hazardous forest types for wildland fire.

Development may however be permitted in lands with hazardous forest types for wildland fire where the risk is mitigated in accordance with wildland fire assessment and mitigation standards.

The proposed severance will not result in the creation of a new lot and both the retained lot and benefiting lot have existing residential development. The application has been reviewed against the relevant policies of the PPS, and is found to be consistent with the PPS, provided future development and site alteration is not permitted within proximity to the natural heritage features of the property. As no new lot is being created an MDS calculation would not be required.

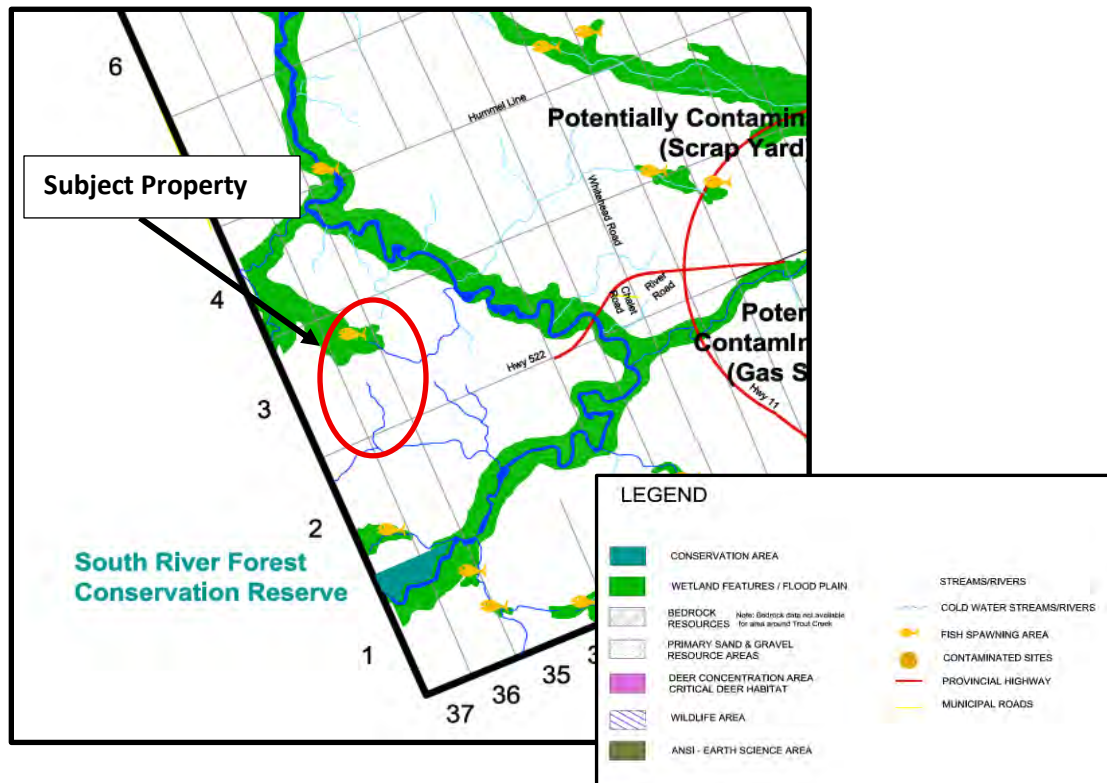
Growth Plan for Northern Ontario, 2011

The Municipality of Powassan is located within the Growth Plan for Northern Ontario Area and thus decisions are required to conform with this Plan. The purpose and guiding principles of the plan provide a 25-year vision of growth for the northern economy, people, communities, infrastructure, environment, and aboriginal peoples. The application has been reviewed against the applicable policies of this document and has been found to conform to the intent and purpose.

Municipality of Powassan Official Plan, October 2003

The subject property is designated Rural Area and Open Space in the 2003 Official Plan on Schedule A and cold-water streams, wetlands and fish spawning areas are identified on Schedule B. The following policies apply to the proposed severance. An excerpt is shown in [Figure 4](#).

Figure 4: Official Plan (2003) – Schedule B



Section 4.10 is Official Plan policy relating to Fish Habitat where spawning grounds “must be protected,” and development is not permitted within 30 m of “Class 1 Fish Habitat.” Both the retained lot and the resulting benefiting lots are developed with residential uses well outside any area identified as fish spawning.

Section 4.20 – Surface Water Quality policy states that:

Preservation of water quality is a significant consideration in reviewing any development proposal adjacent to and in proximity to a watercourse or lake. In order to preserve water quality, development should be set back 30 metres from the top of bank adjacent to cold water or unclassified rivers and streams and 15 metres from other water features. Unless it is impractical to do so, septic systems shall be located at least 30 metres from a watercourse or water body. As a condition of development approval, the natural shoreline

vegetation shall be preserved within 30 metres of all watercourses and water bodies wherever possible.

Section 4.22 is policy relevant to area wetlands, where:

4.22.1 Locally significant wetlands are shown on Schedule B. Wherever possible these areas should be left in their natural state. Where it can be demonstrated to the satisfaction of Council that there is no reasonable alternative for the logical development of lands, other than to develop a portion of a locally significant wetland, the Municipality may permit the development and may impose site plan control to ensure that the appropriate mitigation measures are employed to minimize the impact on the wetland.

4.22.2 Areas that are subject to flooding under regional flooding conditions or are covered with water during significant portions of the year shall be considered as Environmental Protection Areas despite being otherwise designated on Schedule A. When lands within the Municipality are developed, additional Environmental Protection Areas may be identified in the Zoning By-law without amending this Plan.

4.22.3 Prior to approving any development that is within 60 metres of a wetland feature, the proponent shall submit an Environmental Impact Assessment to the satisfaction of the Municipality in consultation with the Ministry of Natural Resources. Any development permitted in these areas shall incorporate the recommendations of the Environmental Impact Assessment.

While the severance does appear to dissect a cold-water stream and property wetlands, there are no Official Plan policies that prohibit this as no new lot will result with the approval of the application. Both lots are developed with existing residential and accessory structures, and any future development will be required to meet appropriate setbacks.

The application is considered a technical severance and Section 8.1.2 would permit a “boundary correction or adjustments” or “lot enlargements” provided both the retained and severed meet the requirements of the Zoning By-law.

The application has been reviewed against the 2003 Official Plan and generally meets the intentions of the Official Plan policies.

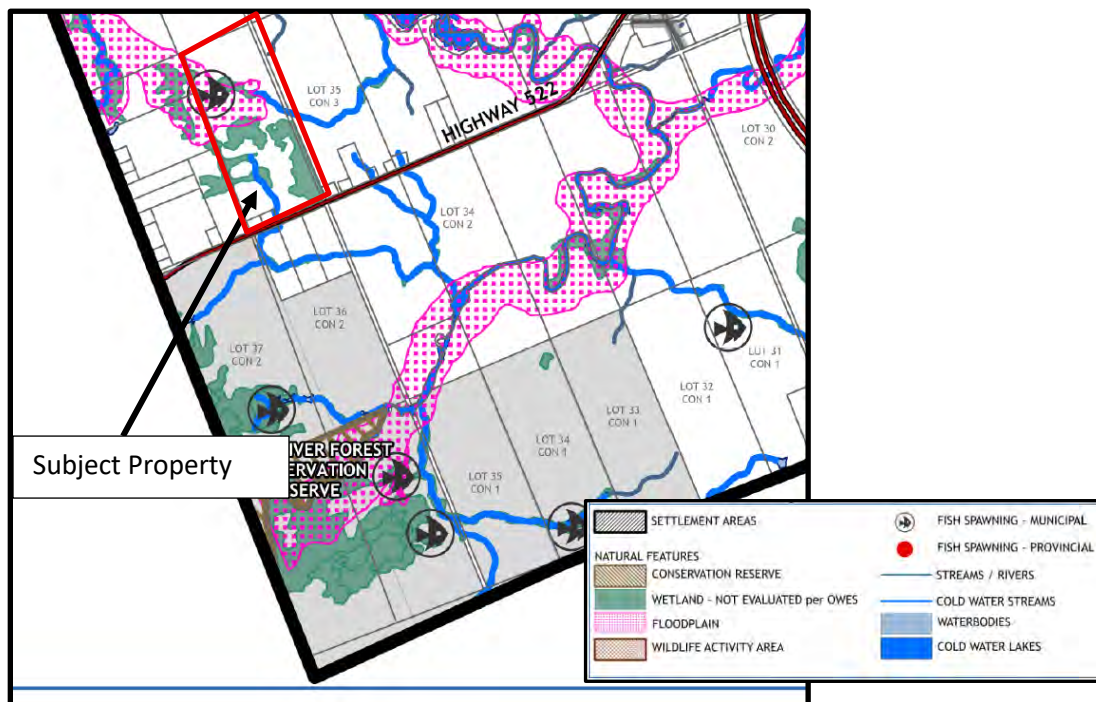
Municipality of Powassan Official Plan, August 2025

The Official Plan review and update was adopted by Powassan Council, in September 2025. The subject lands continue to be designated as Rural and Open Space on Schedule A of the plan and

proposed Schedule B1 illustrates cold-water streams, wetlands, fish spawning area and floodplains. [Figure 5](#) illustrates the natural heritage features of the property below.

New schedules now show potential areas of flooding along the back portion of the property and generally overlay areas identified as fish spawning; Section 4.19 would apply.

Figure 5: Official Plan (2025) – Schedule B1



Section 8.1.2 continue to permit “boundary adjustments” and “lot enlargements.” As previously mentioned, both the retained and resulting benefitting lots have existing residential development. The application has been reviewed against the 2025 Official Plan as adopted and meets the intentions of the policies.

Municipality of Powassan Zoning By-law No. 2003-38

The proposed severance is considered Rural Zone (RU) and Hazard Overlay (HZ) in the municipal Zoning By-law No. 2003-38. The Applications identify the future proposed use residential uses and would need to meet the minimum provisions of a “Column B Use”, shown in [Figure 5](#). Both

the retained lot and resulting benefiting lot will meet the minimum requirements. The application will bring the resulting benefiting lot into compliance. The current abutting lot is approximately 0.4 ha where the minimum requirement is 1.0 ha and the resulting area is proposed to be 15.7 ha, an overall improvement.

Figure 5: Zoning Uses and Regulations

4.4

RURAL (RU) ZONE

No person shall within any Rural (RU) Zone use any land, or erect, alter or use any building or structure except in accordance with the following provisions:

4.4.1

Permitted Uses

Column A Uses

- i) farm
- ii) farm produce sales outlet
- iii) fire hall
- iv) hunt camp
- v) kennel
- vi) lodge or boarding house
- vii) municipal or provincial offices or works garage
- viii) resource management activities
- ix) riding school or boarding stables
- x) an accessory farm dwelling on one lot of at least 30 hectares (75 acres)

Column B Uses

- i) single detached dwelling
- ii) duplex dwelling
- iii) semi-detached dwelling
- iv) bed and breakfast
- v) home occupation
- vi) home industry
- vii) hobby farm
- viii) group home
- ix) public park
- x) veterinary hospital
- xi) observatory

4.4.2

Regulations for Permitted Uses

Column A Uses

Column B Uses

i) Minimum Lot Area	10 ha	1.0 ha
ii) Minimum Lot Frontage	135 m	50 m
iii) Minimum Front Yard	30.0 m	30 m
iv) Minimum Interior Side Yard	15.0 m	15.0 m
v) Minimum Exterior Side Yard	15.0 m	15.0 m
vi) Minimum Rear Yard	15.0 m	15.0 m
vii) Maximum Lot Coverage	25%	25%
viii) Maximum Height	10.5 m	10.5 m
ix) No kennel shall be located within 120 metres (400 ft) of a residential dwelling on another lot.		

Minimum Lot Area for a hobby farm

2.0 ha

Section 3.38 of the Zoning By-law refers to Hazard Overlay where:

Lands shown on the attached schedules to this By-law as Hazard Overlay may be susceptible to flooding. The construction of buildings and structures is discouraged in these areas, but may be permitted subject to confirmation that the location proposed for development has no history of flooding. Lands located in the Hazard Overlay Zone shall be subject to the use permissions and regulations of the underlying zone category.

Both properties have existing residential development, and any future buildings or structures would be generally discouraged in the Hazard Overlay area. The application does not identify any future buildings or uses outside of existing conditions.

Recommendation

The proposed Consent Application generally meets the intentions of the 2024 Provincial Planning Statement and the Growth Plan for Northern Ontario, would conform to both the current and updated Municipal Official Plans, will comply with the applicable zoning standards, and represents good planning.

It is our recommendation that Council provide no objections to B29/POWASSAN/2025, provided the standard conditions of consent are met and that the severed lot be merged on title with the abutting property described as Parcel 10521 PSNS (PIN 52212-0036).

Respectfully Submitted,

PLANSCAPE INC.



Ryan Lloyd MCIP, RPP
Planning Consultant



NORTH ALMAGUIN PLANNING BOARD

250 Clark Street, Suite 126
P.O. Box 57, Powassan Ontario P0H 1Z0
705-724-6758

Email: northalmaguinplanningboard2018@gmail.com

Website: <http://napb.ca>

B29/Powassan/2025

AN APPLICATION FOR CONSENT UNDER SECTION 53 OF THE *PLANNING ACT, R.S.O. 1990 c.P.13*

PLEASE PRINT OR TYPE AND COMPLETE ALL APPROPRIATE BOXES.

1. APPLICANT INFORMATION

1.1 Applicant(s):

Name(s) of Property Owner(s): Charles McCready and Christopher McCready

Day Time Phone #s: Home: 705-493-3939 Mobile: 705-493-3939 Business: _____

Mailing Address: 970 Highway 522, Trout Creek, ON

Postal Code: P0H 2L0 Email Address charlesmccready59@gmail.com

1.2 Agent for the Applicant

The property owner(s) may appoint a person or a professional firm to act on their behalf for processing this application and attending the meeting at which it will be considered, or a person who is to be contacted about the application for communication. This may be a person or firm acting on behalf of the property owner(s). Owner authorization is required in Section 11 of this form if the applicant is an agent appointed by the owner.

Name of Contact Person/Agent: Mike Simpson - Callon Dietz

Phone #s: Home: _____ Mobile: 705-493-8728 Business: 705-478-6699 Fax: _____

Address: 191 Booth Road, Unit 10, North Bay

Postal Code: P1A 4K3 Email Address msimpson@callondietz.com

2. LOCATION OF THE SUBJECT LAND

2.1 District of Parry Sound: _____ Tax Roll Number: 49-59-010-002-12800-0000

Municipality / Unincorporated Township: Municipality of Powassan-Township of Himsworth (South)

Municipal Address (Civic Address): 970 Highway 522 Trout Creek

Legal Description: Concession: 36 Lot Number: 3 Registered Plan: _____ Lot(s): _____ Reference Plan: _____ Part(s): _____

Parcel Number: PCL 10571 PSNS PIN: PIN 52212-0035(LT)

2.2 If there are **existing easements or restrictive covenants** affecting the subject land, provide the legal description and its effect to the subject land. Attach a copy of the relevant documentation.



3. PURPOSE OF THE APPLICATION:

3.1 Type and Purpose of proposed transaction(s) that requires the Consent:

___ Create a new lot (or re-establish an existing parcel) / X Lot Addition / ___ Easement

Other: Charge ___ / Release a Mortgage ___ Lease ___ Validate Title ___ [Lands located in Municipality of Powassan only per O. Reg. 697/98]

3.2 Name of Person(s), if known, to whom the land or interest in land is to be transferred, leased or charged:

Lauri-Ann Patricia Person and George William Pearson

3.3 If a lot addition, identify the lands to which the parcel will be added? Parcel 10521 PSNS (PIN 52212-0036)

4. DESCRIPTION OF SUBJECT LAND AND SERVICING INFORMATION

(Fully complete each Section in order that your application can be process. Incomplete applications will be delayed until they are complete.)

4.1 Description / Size <i>Metric and Imperial</i>	SEVERED	RETAINED
Frontage	163 metres feet	259 metres feet
Depth	948 metres feet	1012 metres feet
Area	15.3ha hectare acres	23ha hectare acres
4.2 Existing Use of Property:	vacant land	residential
4.3 Existing Building or Structures and date of construction	none	Single detached dwelling
4.4 Proposed Use of the Severed and Retained Parcels	residential	residential
4.4 Road Access: Provincial highway <i>MANDATORY: Provide written comments from MTO North Bay. 705-497-5401</i>	Highway 522 - Parcel being severed does not abut Highway	Highway 522 - Parcel being severed does not abut Highway
Municipal road, maintained all year	n/a	n/a
Municipal Road, seasonally maintained	n/a	n/a
Other Public Road (e.g. Local Roads Board)	n/a	n/a
Right of Way / Easement (see Section 4.8 for private roads)	n/a	n/a
MNRF Road Allowance (Provide written report from the MNRF if an MNRF road allowance is used for access to the subject land. North Bay Office: 705-475-5550)	n/a	n/a
4.5 Water Access Lots: Documented proof of on-shore parking and docking facilities is mandatory. (e.g. lease with an existing marina or dedication of a portion of the retained parcel provided the retained parcel provided it is accessible by land.) Also provide the approximate distance of these facilities from the subject land and the nearest public road.		

(Page 2 of 7)



4.5 Water Supply	SEVERED	RETAINED
Publicly owned and operated piped water system	n/a	n/a
Privately owned and operated individual well	Well on existing parcel to which severance being added	Yes
Privately owned and operated communal well	n/a	n/a
Lake or other water body	n/a	n/a
Other means	n/a	n/a
Does your property abut a lake? <i>[Is the lake deemed by the Ministry of the Environment Conservation and Parks (MOECP) to be at capacity for phosphorus load ? **1-800-461-6290 for enquiries]</i>	No	No

4.6 Sewage Disposal	SEVERED	RETAINED
Publicly owned and operated sanitary sewage system	n/a	n/a
Privately owned and operated individual septic tank <i>[MANDATORY: Attach documentation of the results of the Planning Act proposal review by the North Bay Mattawa Conservation Authority 705-474-5420]</i>	Septic on existing parcel to which severance being added	Yes
Privately owned and operated communal septic tank	n/a	n/a
Privy	n/a	n/a
Other Means (e.g. Advanced Treatment System) <i>** (Septic System over 10,000 litre requires Ministry of the Environment Conservation and Parks study and permit. 1-800-461-6290 for enquiries)</i>	n/a	n/a

4.7 Other Services (indicate which service(s) are available)	SEVERED	RETAINED
Electricity	Yes	Yes
School Bussing	Yes	Yes
Garbage Collection	Yes	Yes

4.8 IF ACCESS TO THE SUBJECT LAND IS BY PRIVATE ROAD OR OTHER PUBLIC ROAD OR RIGHT OF WAY WAS INDICATED IN SECTION 4.4, advise who owns the land or road, who is responsible for its maintenance and whether it is maintained seasonally or all year: _____

n/a



5. LAND USE

5.1 What is the existing Official Plan designation(s)? (Please contact the Municipality of Powassan for this information.)

Rural (RU)

5.2 What is the Zoning, if any, on the subject land? (Please contact the Municipality of Powassan for this information.)

Rural (RU)

If the subject land covered by a Minister's Zoning Order, what is the Plan and registration number? n/a

5.3 Are any of the following uses or features on the subject land or within 500 meters of the subject land, unless otherwise specified? Please check the boxes that apply.

Use or Feature	On the Subject Land	Within 750 meters of subject land, unless otherwise specified by the applicable agency, then indicate approximate distance.
An agricultural operation including livestock facility or stockyard <i>[MANDATORY: Attach MDS work sheets from OMAFRA (Ontario Ministry of Food Agriculture and Rural Affairs)]</i>	n/a	n/a
A landfill	n/a	n/a
A sewage treatment plant or waste stabilization plant	n/a	n/a
A provincially significant wetland <i>[North Bay Mattawa Conservation Authority or the Ministry of the Environment Conservation and Parks]</i>	n/a	n/a
A provincially significant wetland within 120 meters of the subject land <i>[North Bay Mattawa Conservation Authority or the Ministry of the Environment Conservation and Parks]</i>	n/a	n/a
Flood Plain	n/a	n/a
A rehabilitated mine site	n/a	n/a
A non-operating mine site within one kilometer of the subject land	n/a	n/a
An active mine site	n/a	n/a
An industrial or commercial use, and specify the use (eg gravel pit)	n/a	n/a
An active railway line	n/a	n/a
Utility corridors (Natural Gas / Hydro Corridor)	n/a	n/a



6. HISTORY OF SUBJECT LAND

6.1 Has the subject land ever been the subject of an application for approval of a Plan of Subdivision or Consent under the Planning Act? ☒ NO ☐ YES ☐ UNKNOWN

If yes, and if known, please provide the application file number and the decision made on the application.

6.2 If this application is a re-submission of a previous consent application, what is the original consent application number and how has it been changed from the original application?

n/a

7. CURRENT APPLICATION

7.1 Is the subject land currently the subject land of a proposed Official Plan or Official Plan Amendment that has been submitted to the Ministry of Municipal Affairs and Housing for approval?

☒ NO ☐ YES ☐ UNKNOWN

If yes and if known, specify the file number and status of the application

7.2 Is the subject land the subjection of an application for a Zoning By-law Amendment, Minister’s Zoning Order amendment, Minor Variance, Consent or approval of a Plan of Subdivision?

☒ NO ☐ YES ☐ UNKNOWN

If yes and if known, specify the file number and status of the application.

Pre-Consultation Planning Memo

October 14, 2025

59 Golf Course Line (Harrington); PT LT 11 CON 16 HIMSWORTH PT 1 42R4973; POWASSAN

Location and Lot Description

The subject lands are legally described as Part of Lot 11, Concession 16 (Himsworth), PIN 52206-0255, in the Municipality of Powassan, District of Parry Sound. The civic address is 59 Golf Course Line, illustrated in Figure 1. A desktop review shows the subject property is developed with a single detached dwelling, a detached garage and three accessory sheds. The proposed severed lots are vacant open fields that appear to be a previous driving range. Severed lot 2 would include one of the accessory sheds that appears to be a building originally part of the driving range operation. Proposed severed lot 2 has an irregular configuration with the bulk of the property behind the retained lot. The subject lands are within proximity to Provincial Highway # 11.

Proposal Description

The subject property is approximately 4.0 hectares in size (10.0 ac), with approximately 201 m (± 660 ft) of frontage on Golf Course Line. The proposed severed lot 1 would have an area of approximately 1.0 ha (± 2.5 ac) and 50.0 m (± 164 ft) of frontage. Severed lot 2 would have an area of approximately 1.5 ha (± 3.7 ac) and 50.0 m (± 164 ft) of frontage. The retained lot would maintain approximately 1.5 ha (± 3.8 ac) and an approximate frontage of 101 m (± 331 ft). The Consent Sketch provided by the applicants is illustrated in Figure 2 below.

The current (2003) Municipality of Powassan Official Plan was recently reviewed, updated and Council adopted it on September 16, 2025. This application has been reviewed against both documents for conformity. The subject property is designated as Rural Area in both Official Plans as shown on Schedule A. The property is zoned Rural (RU). The 2003 Official Plan Schedule B shows the property as being part of "Wildlife Area" and updated mapping from the province and reflected in the 2025 Official Plan no longer shows the property as being within the Wildlife Area. On-going communication with the Ministry of Natural Resources (MNR) has occurred regarding this property and an email from the MNR was received on June 3, 2025, confirming the property is not part of the Crown Game Preserve (Wildlife Area). However, the email also stated that according to their data, Blanding's Turtle was observed, and as the turtle is a threatened species at risk, it must be reviewed against the applicable policies. A copy of the Ministry's email is attached to this report.

Figure 1: Location Map



Figure 2: Proposed Severance



Preliminary Policy Analysis (subject to change with the submission of an application)

Provincial Planning Statement, 2024

The subject property is located in the Rural Area and on Rural Lands according to the PPS. The relevant policies have been provided.

Lot creation in the Rural Lands is permitted and Section 2.6.1 states:

c) residential development, including lot creation, where site conditions are suitable for the provision of appropriate sewage and water services...

The following policies also apply:

2.6.2. Development that can be sustained by rural service levels should be promoted.

2.6.3. Development shall be appropriate to the infrastructure which is planned or available, and avoid the need for the uneconomical expansion of this infrastructure.

2.6.4. Planning authorities should support a diversified rural economy by protecting agricultural and other resource-related uses and directing non-related development to areas where it will minimize constraints on these uses.

2.6.5. New land uses, including the creation of lots, and new or expanding livestock facilities, shall comply with the minimum distance separation formulae.

Section 4.1 of the PPS refers to Natural Heritage policies where:

1. Natural features and areas shall be protected for the long term.

2. The diversity and connectivity of natural features in an area, and the long-term ecological function and biodiversity of natural heritage systems, should be maintained, restored or, where possible, improved, recognizing linkages between and among natural heritage features and areas, surface water features and ground water features.

...

7. Development and site alteration shall not be permitted in habitat of endangered species and threatened species, except in accordance with provincial and federal requirements.

8. Development and site alteration shall not be permitted on adjacent lands to the natural heritage features and areas identified in policies 4.1.4, 4.1.5, and 4.1.6 unless the

ecological function of the adjacent lands has been evaluated and it has been demonstrated that there will be no negative impacts on the natural features or on their ecological functions.

The application will require confirmation from a qualified professional that the new lots and future development will not have negative impacts to the Blanding's Turtle or any other identified species at risk.

Growth Plan for Northern Ontario, 2011

The Municipality of Powassan is located within the Growth Plan for Northern Ontario Area and thus decisions are required to conform with this Plan. The purpose and guiding principles of the plan provide a 25-year vision of growth for the northern economy, people, communities, infrastructure, environment, and aboriginal peoples. The application has been reviewed against the applicable policies of this document and has been found to conform to the intent and purpose.

Municipality of Powassan Official Plan, October 2003

The subject property is designated Rural Area in the 2003 Official Plan on Schedule A and considered Wildlife Area on Schedule B. The new Official Plan does not include this property as part of the Wildlife Area designation. However, the property has been known to have Blanding's Turtle habitat. The following policies apply to the proposed severance.

Section 4.15.7 - Development in Proximity to Provincial Highways and Rail Lines requires a noise feasibility study when development is proposed within 100 m of a limited access freeway and "may be required" when sensitive land uses are proposed between 100 m and 300 m of any provincial highway. Residential uses would be considered a sensitive land use. Comment from the Ministry of Transportation is required to confirm if a noise feasibility study would be necessary.

Section 4.18 relates to Private Sewage Disposal and Water Systems. Confirmation from the North Bay Mattawa Conservation Authority (NBMCA) that on-site servicing can be provided is required or can be a condition of consent. A copy of the application to the NBMCA was provided by the applicant.

Section 4.23 – Wildlife Habitat is policy specific to development in or adjacent to "Deer Concentration Area" or a "Wilderness Preserve." As already stated, the property is no longer

considered as being part of the Crown Game Preserve, but the MNR have identified the potential concern of the Blanding's Turtle and comments from a qualified professional is required.

Section 5.7 are Rural Area policies in the Official Plan that apply the proposed application. Low-density residential uses are permitted uses of Section 5.7.1. The proposed retained and severed lots meet the minimum lot size outlined in Section 5.7.2 for servicing.

Under Section 5.7 Rural Area, limited new lot creation is permitted, provided (Section 5.7.3):

i) New lots developed for residential purposes will be limited as follows:

*a) a maximum of two lots from any parcel of land that existed on January 1, 1996;
or*

b) infilling where the proposed lot would be located within an area where six or more residential dwellings exist within 400 metres of each other measured along a municipal roadway. When reviewing planning applications submitted in neighboring municipalities the impact of the proposed development on the Municipality of Powassan is the primary consideration.

ii) The total number of lots created in Rural area should not exceed 15 per year;

iii) New residential lots may only be created on municipal roads-maintained year round in areas where the Municipality and School Boards are presently providing services; and,

iv) The density of development in any residential cluster where development is permitted under section 5.7.3 (i)(b) above, shall not be less than 1.0 unit per hectare;

v) In addition, new lots may be created for seasonal residential purposes on the lakes in the Municipality subject to satisfying the general development policies in section 4 and the land division policies in Section 8 of this Plan.

Although the proposal does not conform with subsection a), the new Official Plan has removed this policy to permit additional severances within the Rural Area. The proposal conforms with the balance of Policy 5.7.

Section 8.0 of the Official Plan refers to the policies of Land Division. The Applications are generally supported by the policies provided they meet the specific criteria of Section 8.1.1:

ii) the lot size and setback requirements will satisfy specific requirements of this Plan and meet the implementing zoning by-law requirements;

vi) the lot size, soil and drainage conditions must allow for an adequate building site and to allow for the provision of an adequate means of sewage disposal and water supply,

which meets the requirements of the Building Code. New lots in Rural areas shall have a minimum lot size of 1.0 ha or be in keeping with policy 5.7.3 iv) of this Plan. Smaller lots may be considered subject to the applicant providing a hydrogeological study to the satisfaction of Council demonstrating that the smaller lot is sustainable; and

ix) any lot created by severance in the vicinity of livestock operations shall meet the Minimum Distance Separation formulae.

The application will require a scoped Environmental Impact Study prepared by a qualified professional and a noise feasibility study may be required for the lot creations or discussions with the MTO may confirm any other technical studies and/or setbacks required.

Municipality of Powassan Official Plan, August 2025

As the 2025 Official Plan was adopted by Powassan Council and pending approval from the Ministry of Municipal Affairs and Housing (MMAH), the application has been additionally reviewed against the adopted 2025 Official Plan. The subject lands continue to be designated as Rural on Schedule A. Appendix 1 to the Official Plan now illustrates Wildland Fire Risk. Pockets along the rear (south) property lines are identified as moderate and a small pocket of extreme risk is shown on mapping available.

Section 4.15.7 and Section 4.18 continue to apply the same as the 2003 Plan requiring a Noise Feasibility report for development in proximity to Highway 11 and confirmation that the new lots can accommodate private on-site serving.

Section 4.28 is now the policy relating to Wildlife Habitat. Again, while the property is no longer in the Crown Game Preserve, the MNR concern for the Blanding's Turtle continues to apply.

New policy of the 2025 Official Plan includes policies pertaining to Wildland Fire Risk. While a small pocket of "extreme risk" is shown on Appendix 1, they appear along the rear boundary of the property, potentially outside of any building envelope. Further a desktop review has shown this area to be mainly open fields with few or no trees present. The applicant should provide planning justification and/or options to address this policy direction.

Section 5.8 is the updated policies for Rural Areas where low-density residential uses continue to be permitted.

The criteria for an application for consent Section 8 have been updated and no longer specifies minimum lot sizes; however, policy now includes

v) If the intent and purpose of this plan is maintained:

a. Satisfy the minimum lot area requirements established for any land use/land use designation of this Plan, and in accordance with the Zoning By-law.

b. Achieve an appropriate lot configuration that is compatible with the surrounding community character and does not restrict the development of other parcels of land.

This policy now requires new lots to meet provisions set out in the Zoning By-law for minimum lot sizes and areas. Additionally, policy refers to “appropriate” lot configuration. This section of the proposed Official Plan should be justified with respect to the proposed severed lot 2. The proposal shows 50.0 m of frontage, and the lot width is quickly reduced in almost half with the bulk of the property behind the retained lot. Given the proposed configuration, it appears that future development would occur at the back of the lot and behind the detached dwelling on the retained. Further planning justification is required for the proposed lot configuration.

A scoped Environmental Impact Study prepared by a qualified professional to address the potential impact to the Blanding’s Turtle, confirmation if a noise feasibility study is required for the lot from the MTO and planning justification for the wildland fire risk should form part of the application submission. Finally, planning justification is necessary to satisfy Section 8.1.1v) b.

Municipality of Powassan Zoning By-law No. 2003-38

The subject lands are considered Rural Zone (RU) in the municipal Zoning By-law No. 2003-38. The Applications identify the future proposed use of rural residential considered a “Column B Use”, and would need to meet the requirements shown in Figure 3. The proposed severances will comply with the minimum requirements of “Column B Uses” for 1.0 ha of lot area and 50 m of frontage.

The proposed severed lot 2 has an accessory shed where Section 3.1 a) states:

Where this By-law provides that a lot may be used and a building or structure may be erected or used for a purpose, that purpose shall include any accessory building or structure or accessory use provided that a valid building permit for the principal use, if required, is issued or that the principal building or structure or use has already been legally established on the lot.

The shed does not meet the required front yard setback of 30.0 m and does not appear to meet the required interior side yard setback. It is recommended that the shed be demolished, moved to the retained lot or a Zoning By-law Amendment would be required as a condition of consent.

As mentioned above, given the proposed lot configuration of severed lot 2, a viable building envelope is not available in front portion of the property when considering 15.0 m interior side yard setbacks. A building envelope is only available behind the existing development found on the retained lot. There is, however, nothing in the zoning provisions that prohibit this.

Figure 3: Zoning Uses and Regulations

4.4	RURAL (RU) ZONE		
	No person shall within any Rural (RU) Zone use any land, or erect, alter or use any building or structure except in accordance with the following provisions:		
4.4.1	Permitted Uses		
	Column A Uses	Column B Uses	
	i) farm	i) single detached dwelling	
	ii) farm produce sales outlet	ii) duplex dwelling	
	iii) fire hall	iii) semi-detached dwelling	
	iv) hunt camp	iv) bed and breakfast	
	v) kennel	v) home occupation	
	vi) lodge or boarding house	vi) home industry	
	vii) municipal or provincial offices or works garage	vii) hobby farm	
	viii) resource management activities	viii) group home	
	ix) riding school or boarding stables	ix) public park	
	x) an accessory farm dwelling on one lot of at least 30 hectares (75 acres)	x) veterinary hospital	
		xi) observatory	
4.4.2	Regulations for Permitted Uses	Column A Uses	Column B Uses
	i) Minimum Lot Area	10 ha	1.0 ha
	ii) Minimum Lot Frontage	135 m	50 m
	iii) Minimum Front Yard	30.0 m	30 m
	iv) Minimum Interior Side Yard	15.0 m	15.0 m
	v) Minimum Exterior Side Yard	15.0 m	15.0 m
	vi) Minimum Rear Yard	15.0 m	15.0 m
	vii) Maximum Lot Coverage	25%	25%
	viii) Maximum Height	10.5 m	10.5 m
	ix) No kennel shall be located within 120 metres (400 ft) of a residential dwelling on another lot.		
	Minimum Lot Area for a hobby farm		2.0 ha

Recommendation

A complete application will require:

- Scoped Environmental Impact Study specific to the wildlife habitat and the Blanding's Turtles.
- Pre-consultation with the MTO confirming any requirement, including comment on a potential noise feasibility report.

- A proposed building envelope and justification for the severed lot 2 configuration.
- Comment from the NBMCA regarding on-site private services.
- Removal of the accessory shed on proposed lot 2 or an amendment to the Zoning By-law.

Respectfully Submitted,

PLANSCAPE INC.



Stefan Szczerbak, M.Sc, MCIP, RPP
Planning Consultant



Ryan Lloyd, MCIP, RPP
Planning Consultant

NORTH ALMAGUIN PLANNING BOARD

250 Clark Street, Suite 126
P.O. Box 57, Powassan Ontario P0H 1Z0
705-724-6758

Email: northalmaguinplanningboard2018@gmail.com

Website: <http://napb.ca>

B32
B33
POWASSAN/2024

AN APPLICATION FOR CONSENT UNDER SECTION 53 OF THE PLANNING ACT, R.S.O. 1990 c.P.13

PLEASE PRINT OR TYPE AND COMPLETE ALL APPROPRIATE BOXES.

1. APPLICANT INFORMATION

1.1 Applicant(s):

Name(s) of Property Owner(s): Dean Harrington and Judith Harrington

Day Time Phone #s: Home: 705-492-9117 Mobile: 705-499-3944 Business: 705-724-5230

Mailing Address: 59 Golf Course Line, Powassan, Ontario

Postal Code: P0H 1Z0 Email Address: highview18@yahoo.com

1.2 Agent for the Applicant

The property owner(s) may appoint a person or a professional firm to act on their behalf for processing this application and attending the meeting at which it will be considered, or a person who is to be contacted about the application for communication. This may be a person or firm acting on behalf of the property owner(s). Owner authorization is required in Section 11 of this form if the applicant is an agent appointed by the owner.

Name of Contact Person/Agent: Markus Odd

Phone #s: Home: _____ Mobile: 705-303-8504 Business: _____ Fax: _____

Address: 550 Lindquist Line, Powassan, Ontario

Postal Code: P0H 1Z0 Email Address: markusod17@gmail.com

2. LOCATION OF THE SUBJECT LAND

2.1 District of Parry Sound: _____ (mandatory) Tax Roll Number: 49-59-010-001-61720-0000

Municipality / Unincorporated Township: Powassan

Municipal Address (Civic Address): 59 Golf Course Line, Powassan, Ontario, P0H 1Z0

Legal Description: Concession: 16 Lot Number: 11 Registered Plan: _____ Lot(s): _____ Reference Plan: 42R-4973 Part(s): 1

Parcel Number: 3469 N.S. PIN: 52206-0255

2.2 IMPORTANT: If there are existing easements or restrictive covenants affecting the subject land, provide the legal description and its effect to the subject land. Attach a copy of the relevant documentation.



3. PURPOSE OF THE APPLICATION:

3.1 Type and Purpose of proposed transaction(s) that requires the Consent:

☒ Create a new lot (or re-establish an existing parcel) / ☐ Lot Addition / ☐ Easement

Other: Charge ☐ / Release a Mortgage ☐ Lease ☐

3.2 Name of party(s), if known, to whom the land or interest in land is to be transferred, leased or charged:

Jaye Harrington and Markus Odd

3.3 If a lot addition, identify the lands to which the parcel will be added? N/A

4. DESCRIPTION OF SUBJECT LAND AND SERVICING INFORMATION

(Fully complete each Section in order that your application can be process. Incomplete applications will be delayed until they are complete.)

(If 2 new lots are proposed, split the SEVERED section and apply appropriate dimensions and information through Sections 4.1 through

4.1 Description / Size <i>Metric and Imperial</i>	SEVERED <u>B32 / B33</u>		RETAINED	
Frontage	50	50 metres	feet	101 metres
Depth	201	201 metres	feet	125 metres
Area	1	1.5 hectare	acres	1.5 hectare
4.2 Existing Use of Property:	Residential		Residential	
4.3 Existing Building or Structures and date of construction	N/A		1989	
4.4 Proposed Use of the Severed and Retained Parcels	Residential		Residential	
4.5 Road Access: Provincial highway <i>MANDATORY: Provide written comments from MTO North Bay. 705-497-5401</i>	Golf Course Line		Golf Course Line	
Municipal road, maintained all year	YES		YES	
Municipal Road, seasonally maintained	N/A		N/A	
Other Public Road (e.g. Local Roads Board)	N/A		N/A	
Right of Way / Easement* <i>{ IF ACCESS TO THE SUBJECT LAND IS BY PRIVATE ROAD OR OTHER PUBLIC ROAD OR RIGHT OF WAY advise the status of the easement (permanent registered or prescriptive), name who owns the land or road, who is responsible for its maintenance and whether it is seasonal or year round.</i>	N/A		N/A	
MNR Road Allowance <i>{Written report from the MNR if an MNR road allowance is used for access to the subject land. North Bay Office: 705-475-5550}</i>	N/A		N/A	
4.6 Water Access Lots: <i>Documented proof of on-shore parking and docking facilities is mandatory (e.g. lease with an existing marina or dedication of a portion of the retained parcel provided the retained parcel provided it is accessible by land.)</i> Also provide the approximate distance of these facilities from the subject land and the nearest public road.				



4.7 Water Supply	SEVERED	RETAINED
Publicly owned and operated piped water system	None	None
Privately owned and operated individual well	No	Yes
Privately owned and operated communal well	No	No
Lake or other water body	No	No
Other means	No	No
Does your property abut a lake? <i>(Is the lake deemed by the Ministry of the Environment Conservation and Parks (MOECP) to be at capacity for phosphorus load? ** 1-800-461-6290 for enquiries)</i>	No	No

4.8 Sewage Disposal	SEVERED	RETAINED
Publicly owned and operated sanitary sewage system	No	No
Privately owned and operated individual septic tank <i>[MANDATORY: Attach documentation of the results of the Planning Act proposal review by the North Bay Maitava Conservation Authority 705-474-5420]</i>	No	Yes
Privately owned and operated communal septic tank	No	No
Privy		
Other Means (e.g. Advanced Treatment System) <i>** (Septic System over 10,000 litre requires Ministry of the Environment Conservation and Parks study and permit. 1-800-461-6290 for enquiries.)</i>	No	No

4.9 Other Services (indicate which service(s) are available)	SEVERED	RETAINED
Electricity	Yes	Yes
School Bussing	Yes	Yes
Garbage Collection	Yes	Yes



Adam Brutto

to senecalm@npssts.ca, me ▾

Thu, Oct 30, 3:29 PM (22 hours ago)

Hi Markus,

I'm copying Marcel from NPSSTS for his information.

Most transportation consortia offer a web-based tool to verify transportation eligibility. In this case, **NPSSTS** has such a tool ac

Based on **School Bus Planner** (<https://geoquery.npssts.ca/TransportationEligibility>), the property appears to qualify for busing
School (NNDSB) and, on the Catholic side, to St. Gregory.

If you need anything further, please let me know.

Best,

Adam Brutto, BURPI, (he/him)

Senior Consultant

Watson & Associates Economists Ltd.

brutto@watsonecon.ca

Office: 905-272-3600 x. 278

Mobile: 905-967-4775

Fax: 905-272-3602

watsonecon.ca



My working hours and your working hours may be different. Please do not feel obligated to reply outside of your non

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Can I Ride a Bus?

Street Number

59

Street Name

GOLF COURSE LINE

Municipality

POWASSAN

District

Near North District School Board

Grade

JK

Program

--Select--

New Search

Submit

School

Mapleridge Public School

You are eligible for transportation





5. LAND USE

5.1 What is the existing Official Plan designation(s)? (Please contact the Municipality of Powassan for this information.)

Rural Residential

5.2 What is the Zoning, if any, on the subject land? (Please contact the Municipality of Powassan for this information.)

Rural Residential

If the subject land covered by a Minister's Zoning Order, what is the Plan and registration number? N/A

5.3 Are any of the following uses or features on the subject land or within 500 meters of the subject land, unless otherwise specified? Please check the boxes that apply.

Use or Feature	On the Subject Land	Within 500 meters of subject land, unless otherwise specified by the applicable agency, then indicate approximate distance.
An agricultural operation including livestock facility or stockyard <i>[MANDATORY: Attach MD's work sheets from OMAFRA (Ontario Ministry of Food Agriculture and Rural Affairs)]</i>	N/A	N/A
A landfill	N/A	N/A
A sewage treatment plant or waste stabilization plant	N/A	N/A
A provincially significant wetland <i>[North Bay Mattawa Conservation Authority or the Ministry of the Environment Conservation and Parks]</i>	N/A	N/A
A provincially significant wetland within 120 meters of the subject land <i>[North Bay Mattawa Conservation Authority or the Ministry of the Environment Conservation and Parks]</i>	N/A	N/A
Flood Plain	N/A	N/A
A rehabilitated mine site	N/A	N/A
A non-operating mine site within one kilometer of the subject land	N/A	N/A
An active mine site	N/A	N/A
An industrial or commercial use, and specify the use (eg gravel pit)	N/A	N/A
An active railway line	N/A	N/A
Utility corridors (Natural Gas / Hydro Corridor)	N/A	N/A



6. HISTORY OF SUBJECT LAND

6.1 Has the subject land ever been the subject of an application for approval of a Plan of Subdivision or Consent under the Planning Act? ☒ NO ☐ YES ☒ UNKNOWN

If yes, and if known, please provide the application file number and the decision made on the application.

Do you know the year the property was created? _____

6.2 If this application is a re-submission of a previous consent application, what is the original consent application number and how has it been changed from the original application?

7. CURRENT APPLICATION

7.1 Is the subject land currently the subject land of a proposed Official Plan or Official Plan Amendment that has been submitted to the Ministry of Municipal Affairs and Housing for approval?

☐ NO ☐ YES ☒ UNKNOWN

If yes and if known, specify the file number and status of the application

7.2 Is the subject land the subjection of an application for a Zoning By-law Amendment, Minister's Zoning Order amendment, Minor Variance, Consent or approval of a Plan of Subdivision?

☐ NO ☐ YES ☒ UNKNOWN

If yes and if known, specify the file number and status of the application.

METRIC

DISTANCES SHOWN ON THIS PLAN ARE
IN METRES AND CAN BE CONVERTED
TO FEET BY DIVIDING BY 0.3048.

NOTE

DIMENSIONS WERE OBTAINED
FROM FIELD SURVEY.

CAUTION

- a) THIS IS NOT A PLAN OF SURVEY AND SHALL
NOT BE USED EXCEPT FOR THE PURPOSE
INDICATED IN THE TITLE BLOCK.
- b) THIS SKETCH IS PROTECTED BY COPYRIGHT ©

SKETCH FOR CONSENT

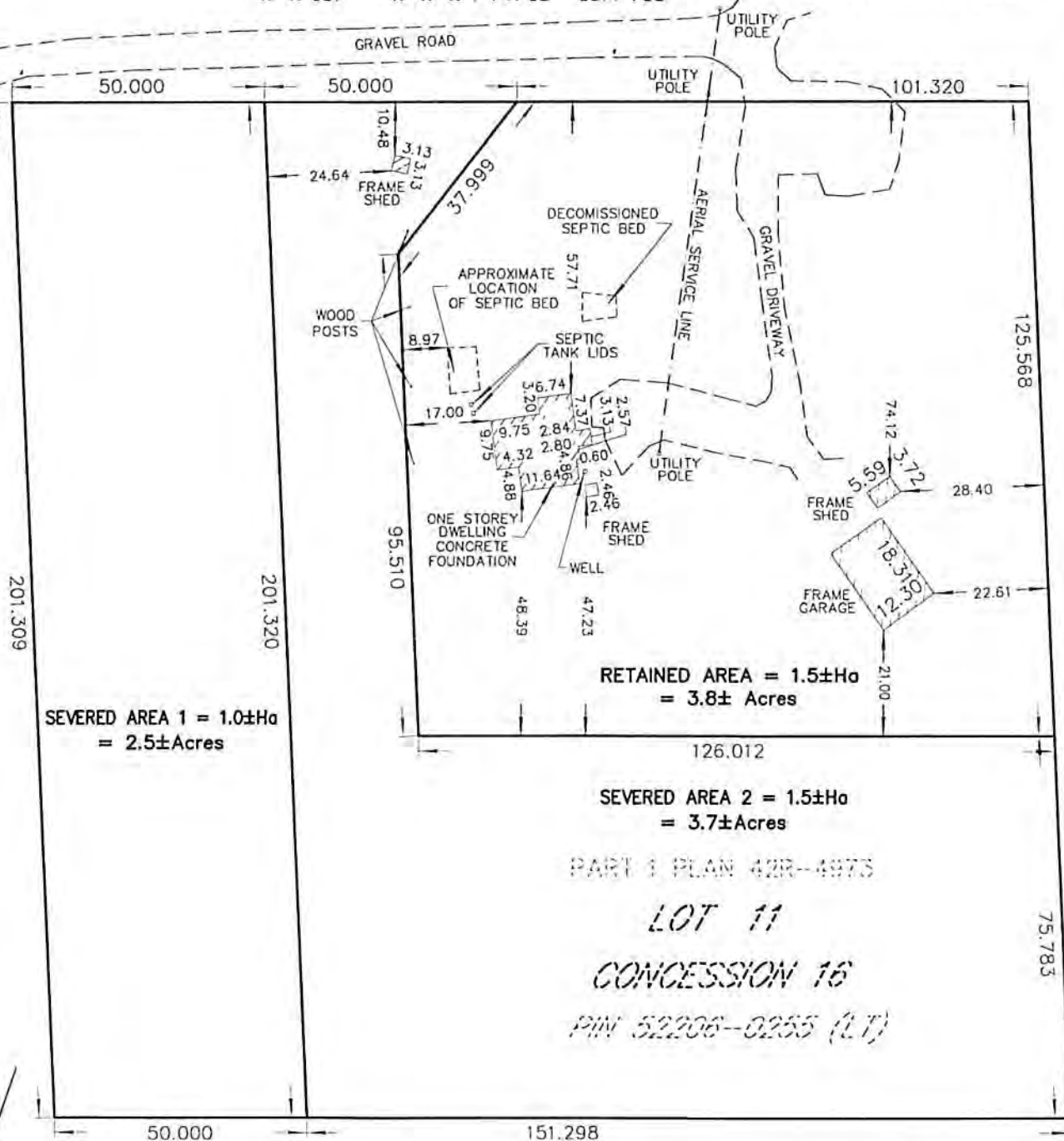
0 25 50m

SCALE 1 : 1250

NOTE

PART OF LOT 11
CONCESSION 16
TOWNSHIP OF SOUTH HIMSWORTH
NOW IN THE
MUNICIPALITY OF POWASSAN
DISTRICT OF PARRY SOUND

GOLF COURSE LINE



LOT COVERAGE RETAINED AREA

AREA OF PROPERTY = 15434.8m²
AREA OF EXISTING DWELLING = 248.5m²
AREA OF FRAME GARAGE = 224.2m²
AREA OF FRAME SHEDS = 15.8m²

LOT COVERAGE = 3.2%

CLIENT: MARKUS ODD



TULLOCH GEOMATICS INC.

1501 SEYMOUR STREET
NORTH BAY ON
P1A 0C5
T. 705-474-1210
F. 705-474-1783
northbay@tulloch.ca

DRAWN BY: D. D. FILE No. 251153



NORTH ALMAGUIN PLANNING BOARD

250 Clark Street P.O. Box 57 Powassan ON P0H 1Z0

Phone: 705-724-6758 Email: northalmaguinplanningboard2018@gmail.com Website: <https://napb.ca>

PERMISSION TO ENTER

DATE: _____

North Almaguin Planning Board (NAPBoard)
Suite 126 250 Clark Street
P.O. Box #57
Powassan, ON P0H 1Z0

Reason for Site Visit: Consent Application
(e.g. Consent application, enquiry to determine viability of severance, etc)

Location: 59 Golf Course Line, Powassan, Ontario, P0H 1Z0

(civic address [911 number] / other locational information and/or driving directions)

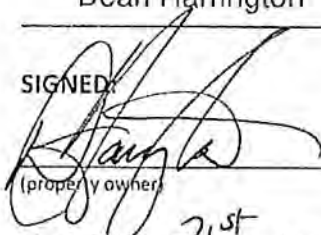
I hereby authorize a Member(s) of the North Almaguin Planning Board and/or its staff to enter onto the above-noted property for the limited purpose of evaluating the merits of an application for Consent under Section 53 of the Planning Act of the *Planning Act, R.S.O. 1990 c.P.13*, or an application for a Plan of Subdivision under *Section 51 of the Planning Act of the Planning Act, R.S.O. 1990 c.P.13*.

PRINT NAMES OF PROPERTY OWNER(S):

Dean Harrington

Judith Harrington

SIGNED:


(property owner)


(property owner) / (authorized agent)

Signed this 21st day of September 2025
(date) (month) (year)

IMPORTANT

The North Almaguin Planning Board (NAPBoard) requires that the location of a property subject in a Consent application(s) [or Subdivision application on lands in the Municipality of Powassan] must be identified with a municipal address (or civic address or 911 number) or directional signage clearly visible from the road from which access is taken.

Failure to accommodate inspection access to the subject location to be reviewed will result in delay in processing the application.

Pre-Consultation Planning Memo

October 14, 2025

59 Golf Course Line (Harrington); PT LT 11 CON 16 HIMSWORTH PT 1 42R4973; POWASSAN

Location and Lot Description

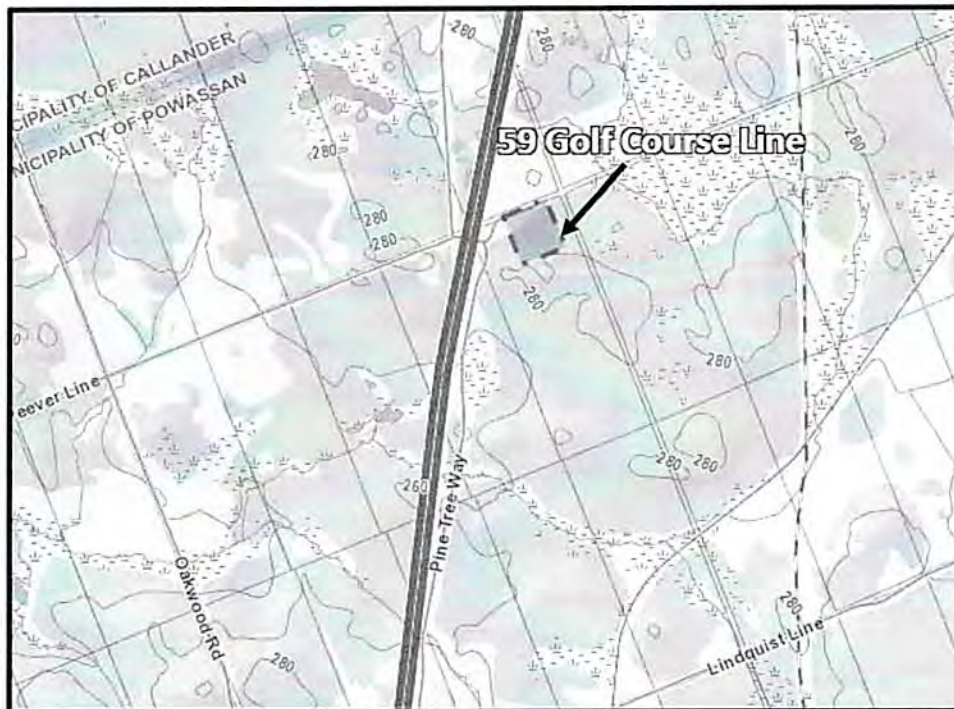
The subject lands are legally described as Part of Lot 11, Concession 16 (Himsworth), PIN 52206-0255, in the Municipality of Powassan, District of Parry Sound. The civic address is 59 Golf Course Line, illustrated in Figure 1. A desktop review shows the subject property is developed with a single detached dwelling, a detached garage and three accessory sheds. The proposed severed lots are vacant open fields that appear to be a previous driving range. Severed lot 2 would include one of the accessory sheds that appears to be a building originally part of the driving range operation. Proposed severed lot 2 has an irregular configuration with the bulk of the property behind the retained lot. The subject lands are within proximity to Provincial Highway # 11.

Proposal Description

The subject property is approximately 4.0 hectares in size (10.0 ac), with approximately 201 m (± 660 ft) of frontage on Golf Course Line. The proposed severed lot 1 would have an area of approximately 1.0 ha (± 2.5 ac) and 50.0 m (± 164 ft) of frontage. Severed lot 2 would have an area of approximately 1.5 ha (± 3.7 ac) and 50.0 m (± 164 ft) of frontage. The retained lot would maintain approximately 1.5 ha (± 3.8 ac) and an approximate frontage of 101 m (± 331 ft). The Consent Sketch provided by the applicants is illustrated in Figure 2 below.

The current (2003) Municipality of Powassan Official Plan was recently reviewed, updated and Council adopted it on September 16, 2025. This application has been reviewed against both documents for conformity. The subject property is designated as Rural Area in both Official Plans as shown on Schedule A. The property is zoned Rural (RU). The 2003 Official Plan Schedule B shows the property as being part of "Wildlife Area" and updated mapping from the province and reflected in the 2025 Official Plan no longer shows the property as being within the Wildlife Area. On-going communication with the Ministry of Natural Resources (MNR) has occurred regarding this property and an email from the MNR was received on June 3, 2025, confirming the property is not part of the Crown Game Preserve (Wildlife Area). However, the email also stated that according to their data, Blanding's Turtle was observed, and as the turtle is a threatened species at risk, it must be reviewed against the applicable policies. A copy of the Ministry's email is attached to this report.

Figure 1: Location Map



METRIC

DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

NOTE

DIMENSIONS WERE OBTAINED FROM FIELD SURVEY.

CAUTION

a) THIS IS NOT A PLAN OF SURVEY AND SHALL NOT BE USED EXCEPT FOR THE PURPOSE INDICATED IN THE TITLE BLOCK.

b) THIS SKETCH IS PROTECTED BY COPYRIGHT ©

SKETCH FOR CONSENT

0 25 50m

SCALE 1 : 1250

NOTE

PART OF LOT 11
CONCESSION 16
TOWNSHIP OF SOUTH HIMS WORTH
NOW IN THE
MUNICIPALITY OF POWASSAN
DISTRICT OF PARRY SOUND

GOLF COURSE LINE

GRAVEL ROAD

UTILITY POLE

101.320

126.563

201.309

201.320

50.000

50.000

10.48

3.73

24.64

FRAME SHED

37.999

DECOMMISSIONED SEPTIC BED

APPROXIMATE LOCATION OF SEPTIC BED

WOOD POSTS

5.97

SEPTIC TANK LIDS

46.74

17.03

28.40

2.84

11.80

ONE STOREY DWELLING CONCRETE FOUNDATION

WELL

48.09

47.23

UTILITY POLE

GRAVEL DRIVEWAY

FRAME SHED

12.40

FRAME GARAGE

18.339

12.30

22.61

71.00

74.72

28.40

126.012

72.783

151.298

50.000

SEVERED AREA 1 = 1.0±Ha = 2.5±Acres

RETAINED AREA = 1.5±Ha = 3.6±Acres

SEVERED AREA 2 = 1.5±Ha = 3.7±Acres

LOT 11

CONCESSION 16

PIN 52206-0245 (L.T.)

LOT COVERAGE

RETAINED AREA

AREA OF PROPERTY = 15434.8m²

AREA OF EXISTING DWELLING = 248.5m²

AREA OF FRAME GARAGE = 224.2m²

AREA OF FRAME SHEDS = 15.8m²

LOT COVERAGE = 3.2%

TULLOCH

TULLOCH GEOMATICS INC.

1501 SEAVOUR STREET
NORTH BAY ON
P1A 0C5
northbay@tulloch.ca

CLIENT: MARKUS ODD

DRAWN BY: D D FILE No. 251153

Preliminary Policy Analysis (subject to change with the submission of an application)

Provincial Planning Statement, 2024

The subject property is located in the Rural Area and on Rural Lands according to the PPS. The relevant policies have been provided.

Lot creation in the Rural Lands is permitted and Section 2.6.1 states:

c) residential development, including lot creation, where site conditions are suitable for the provision of appropriate sewage and water services...

The following policies also apply:

2.6.2. Development that can be sustained by rural service levels should be promoted.

2.6.3. Development shall be appropriate to the infrastructure which is planned or available, and avoid the need for the uneconomical expansion of this infrastructure.

2.6.4. Planning authorities should support a diversified rural economy by protecting agricultural and other resource-related uses and directing non-related development to areas where it will minimize constraints on these uses.

2.6.5. New land uses, including the creation of lots, and new or expanding livestock facilities, shall comply with the minimum distance separation formulae.

Section 4.1 of the PPS refers to Natural Heritage policies where:

1. Natural features and areas shall be protected for the long term.

2. The diversity and connectivity of natural features in an area, and the long-term ecological function and biodiversity of natural heritage systems, should be maintained, restored or, where possible, improved, recognizing linkages between and among natural heritage features and areas, surface water features and ground water features.

...

7. Development and site alteration shall not be permitted in habitat of endangered species and threatened species, except in accordance with provincial and federal requirements.

8. Development and site alteration shall not be permitted on adjacent lands to the natural heritage features and areas identified in policies 4.1.4, 4.1.5, and 4.1.6 unless the

ecological function of the adjacent lands has been evaluated and it has been demonstrated that there will be no negative impacts on the natural features or on their ecological functions.

The application will require confirmation from a qualified professional that the new lots and future development will not have negative impacts to the Blanding's Turtle or any other identified species at risk.

Growth Plan for Northern Ontario, 2011

The Municipality of Powassan is located within the Growth Plan for Northern Ontario Area and thus decisions are required to conform with this Plan. The purpose and guiding principles of the plan provide a 25-year vision of growth for the northern economy, people, communities, infrastructure, environment, and aboriginal peoples. The application has been reviewed against the applicable policies of this document and has been found to conform to the intent and purpose.

Municipality of Powassan Official Plan, October 2003

The subject property is designated Rural Area in the 2003 Official Plan on Schedule A and considered Wildlife Area on Schedule B. The new Official Plan does not include this property as part of the Wildlife Area designation. However, the property has been known to have Blanding's Turtle habitat. The following policies apply to the proposed severance.

Section 4.15.7 - Development in Proximity to Provincial Highways and Rail Lines requires a noise feasibility study when development is proposed within 100 m of a limited access freeway and "may be required" when sensitive land uses are proposed between 100 m and 300 m of any provincial highway. Residential uses would be considered a sensitive land use. Comment from the Ministry of Transportation is required to confirm if a noise feasibility study would be necessary.

Section 4.18 relates to Private Sewage Disposal and Water Systems. Confirmation from the North Bay Mattawa Conservation Authority (NBMCA) that on-site servicing can be provided is required or can be a condition of consent. A copy of the application to the NBMCA was provided by the applicant.

Section 4.23 – Wildlife Habitat is policy specific to development in or adjacent to "Deer Concentration Area" or a "Wilderness Preserve." As already stated, the property is no longer

considered as being part of the Crown Game Preserve, but the MNR have identified the potential concern of the Blanding's Turtle and comments from a qualified professional is required.

Section 5.7 are Rural Area policies in the Official Plan that apply the proposed application. Low-density residential uses are permitted uses of Section 5.7.1. The proposed retained and severed lots meet the minimum lot size outlined in Section 5.7.2 for servicing.

Under Section 5.7 Rural Area, limited new lot creation is permitted, provided (Section 5.7.3):

i) New lots developed for residential purposes will be limited as follows:

*a) a maximum of two lots from any parcel of land that existed on January 1, 1996;
or*

b) infilling where the proposed lot would be located within an area where six or more residential dwellings exist within 400 metres of each other measured along a municipal roadway. When reviewing planning applications submitted in neighboring municipalities the impact of the proposed development on the Municipality of Powassan is the primary consideration.

ii) The total number of lots created in Rural area should not exceed 15 per year;

iii) New residential lots may only be created on municipal roads-maintained year round in areas where the Municipality and School Boards are presently providing services; and,

iv) The density of development in any residential cluster where development is permitted under section 5.7.3 (i)(b) above, shall not be less than 1.0 unit per hectare;

v) In addition, new lots may be created for seasonal residential purposes on the lakes in the Municipality subject to satisfying the general development policies in section 4 and the land division policies in Section 8 of this Plan.

Although the proposal does not conform with subsection a), the new Official Plan has removed this policy to permit additional severances within the Rural Area. The proposal conforms with the balance of Policy 5.7.

Section 8.0 of the Official Plan refers to the policies of Land Division. The Applications are generally supported by the policies provided they meet the specific criteria of Section 8.1.1:

ii) the lot size and setback requirements will satisfy specific requirements of this Plan and meet the implementing zoning by-law requirements;

vi) the lot size, soil and drainage conditions must allow for an adequate building site and to allow for the provision of an adequate means of sewage disposal and water supply,

which meets the requirements of the Building Code. New lots in Rural areas shall have a minimum lot size of 1.0 ha or be in keeping with policy 5.7.3 iv) of this Plan. Smaller lots may be considered subject to the applicant providing a hydrogeological study to the satisfaction of Council demonstrating that the smaller lot is sustainable; and

ix) any lot created by severance in the vicinity of livestock operations shall meet the Minimum Distance Separation formulae.

The application will require a scoped Environmental Impact Study prepared by a qualified professional and a noise feasibility study may be required for the lot creations or discussions with the MTO may confirm any other technical studies and/or setbacks required.

Municipality of Powassan Official Plan, August 2025

As the 2025 Official Plan was adopted by Powassan Council and pending approval from the Ministry of Municipal Affairs and Housing (MMAH), the application has been additionally reviewed against the adopted 2025 Official Plan. The subject lands continue to be designated as Rural on Schedule A. Appendix 1 to the Official Plan now illustrates Wildland Fire Risk. Pockets along the rear (south) property lines are identified as moderate and a small pocket of extreme risk is shown on mapping available.

Section 4.15.7 and Section 4.18 continue to apply the same as the 2003 Plan requiring a Noise Feasibility report for development in proximity to Highway 11 and confirmation that the new lots can accommodate private on-site serving.

Section 4.28 is now the policy relating to Wildlife Habitat. Again, while the property is no longer in the Crown Game Preserve, the MNR concern for the Blanding's Turtle continues to apply.

New policy of the 2025 Official Plan includes policies pertaining to Wildland Fire Risk. While a small pocket of "extreme risk" is shown on Appendix 1, they appear along the rear boundary of the property, potentially outside of any building envelope. Further a desktop review has shown this area to be mainly open fields with few or no trees present. The applicant should provide planning justification and/or options to address this policy direction.

Section 5.8 is the updated policies for Rural Areas where low-density residential uses continue to be permitted.

The criteria for an application for consent Section 8 have been updated and no longer specifies minimum lot sizes; however, policy now includes

v) If the intent and purpose of this plan is maintained:

a. Satisfy the minimum lot area requirements established for any land use/land use designation of this Plan, and in accordance with the Zoning By-law.

b. Achieve an appropriate lot configuration that is compatible with the surrounding community character and does not restrict the development of other parcels of land.

This policy now requires new lots to meet provisions set out in the Zoning By-law for minimum lot sizes and areas. Additionally, policy refers to “appropriate” lot configuration. This section of the proposed Official Plan should be justified with respect to the proposed severed lot 2. The proposal shows 50.0 m of frontage, and the lot width is quickly reduced in almost half with the bulk of the property behind the retained lot. Given the proposed configuration, it appears that future development would occur at the back of the lot and behind the detached dwelling on the retained. Further planning justification is required for the proposed lot configuration.

A scoped Environmental Impact Study prepared by a qualified professional to address the potential impact to the Blanding’s Turtle, confirmation if a noise feasibility study is required for the lot from the MTO and planning justification for the wildland fire risk should form part of the application submission. Finally, planning justification is necessary to satisfy Section 8.1.1v) b.

Municipality of Powassan Zoning By-law No. 2003-38

The subject lands are considered Rural Zone (RU) in the municipal Zoning By-law No. 2003-38. The Applications identify the future proposed use of rural residential considered a “Column B Use”, and would need to meet the requirements shown in Figure 3. The proposed severances will comply with the minimum requirements of “Column B Uses” for 1.0 ha of lot area and 50 m of frontage.

The proposed severed lot 2 has an accessory shed where Section 3.1 a) states:

Where this By-law provides that a lot may be used and a building or structure may be erected or used for a purpose, that purpose shall include any accessory building or structure or accessory use provided that a valid building permit for the principal use, if required, is issued or that the principal building or structure or use has already been legally established on the lot.

The shed does not meet the required front yard setback of 30.0 m and does not appear to meet the required interior side yard setback. It is recommended that the shed be demolished, moved to the retained lot or a Zoning By-law Amendment would be required as a condition of consent.

As mentioned above, given the proposed lot configuration of severed lot 2, a viable building envelope is not available in front portion of the property when considering 15.0 m interior side yard setbacks. A building envelope is only available behind the existing development found on the retained lot. There is, however, nothing in the zoning provisions that prohibit this.

Figure 3: Zoning Uses and Regulations

4.4	RURAL (RU) ZONE		
	No person shall within any Rural (RU) Zone use any land, or erect, alter or use any building or structure except in accordance with the following provisions:		
4.4.1	Permitted Uses		
	Column A Uses	Column B Uses	
	i) farm	i) single detached dwelling	
	ii) farm produce sales outlet	ii) duplex dwelling	
	iii) fire hall	iii) semi-detached dwelling	
	iv) hunt camp	iv) bed and breakfast	
	v) kennel	v) home occupation	
	vi) lodge or boarding house	vi) home industry	
	vii) municipal or provincial offices or works garage	vii) hobby farm	
	viii) resource management activities	viii) group home	
	ix) riding school or boarding stables	ix) public park	
	x) an accessory farm dwelling on one lot of at least 30 hectares (75 acres)	x) veterinary hospital	
		xi) observatory	
4.4.2	Regulations for Permitted Uses	Column A Uses	Column B Uses
	i) Minimum Lot Area	10 ha	1.0 ha
	ii) Minimum Lot Frontage	135 m	50 m
	iii) Minimum Front Yard	30.0 m	30 m
	iv) Minimum Interior Side Yard	15.0 m	15.0 m
	v) Minimum Exterior Side Yard	15.0 m	15.0 m
	vi) Minimum Rear Yard	15.0 m	15.0 m
	vii) Maximum Lot Coverage	25%	25%
	viii) Maximum Height	10.5 m	10.5 m
	ix) No kennel shall be located within 120 metres (400 ft) of a residential dwelling on another lot.		
	Minimum Lot Area for a hobby farm		2.0 ha

Recommendation

A complete application will require:

- Scoped Environmental Impact Study specific to the wildlife habitat and the Blanding's Turtles.
- Pre-consultation with the MTO confirming any requirement, including comment on a potential noise feasibility report.

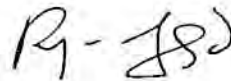
- A proposed building envelope and justification for the severed lot 2 configuration.
- Comment from the NBMCA regarding on-site private services.
- Removal of the accessory shed on proposed lot 2 or an amendment to the Zoning By-law.

Respectfully Submitted,

PLANSCAPE INC.



Stefan Szczerbak, M.Sc, MCIP, RPP
Planning Consultant



Ryan Lloyd, MCIP, RPP
Planning Consultant



RIVERSTONE

ENVIRONMENTAL SOLUTIONS INC.

November 10, 2025
RS# 2025-217

Markus Odd
Dean and Judith Harrington
59 Golf Course Line

via email: markusodd17@gmail.com

SUBJECT: Species at Risk Assessment, 59 Golf Course Line, Town of Powassan

Markus:

RiverStone Environmental Solutions Inc. (hereafter, RiverStone) is pleased to provide our Species at Risk (SAR) Assessment for the proposed planning application to sever the subject property at 59 Golf Course Line into three total parcels (**Figure 1**).

INTRODUCTION

It is our understanding that the proposed development involves a consent application to sever the existing lot into three (3) total parcels, two (2) severed and one (1) retained lot. It is anticipated that a residential dwelling as well as associated infrastructure and secondary structures permitted under the zoning bylaw would be constructed on each new lot (**Figure 2**).

According to the pre-consultation memo from the Municipality of Powassan (October 14, 2025), correspondence from the Ministry of Natural Resources and Forestry (MNRF) identified records of Blanding's Turtle (*Emydoidea blandingii*), an endangered species, in the vicinity of the subject property. As a result, the municipality has required the submission of a Species at Risk (SAR) Assessment to address this species and others. This letter report provides a review of potential habitat for SAR that may be present within the subject property or on adjacent lands and provides recommendations for avoiding and/or mitigating potential impacts to SAR habitat.

APPROACH AND METHOD

RiverStone's primary approach to site assessment is habitat-based. We first focus on evaluating the potential for natural heritage features and species within an area of interest, prior to undertaking any targeted assessments or surveys. An area is considered potential habitat if it satisfies several criteria, usually specific to a species, but occasionally characteristic of a broader group (*e.g.*, several species of turtles use sandy shorelines for nesting, several species of bats use cavity trees as day roosts and maternity sites, etc.). If habitat features are demonstrably absent from a study area, then targeted surveys would not be considered warranted to further support conclusions of the assessment.

Physical attributes of a site that can be used to assess habitat function include structural characteristics (e.g., age and composition of forest canopy, water depth), ecological community (e.g., meadow marsh, rock barren, coldwater stream), and structural connectivity to other habitat features required by a species of interest or indicator species. Species-specific habitat preferences and/or affinities are determined from status reports produced by the Committee on the Status of Endangered Wildlife in Canada (COSEWIC), Cadman et al. (2007), unpublished documents, and direct experience. A site visit was conducted on October 23, 2025, by A. McClelland (Ecologist) at which time the subject property was assessed and potential habitat for SAR identified.

Evidence for the presence of a species (or use of an area by a species) was determined from visual and/or auditory documentation (e.g., song, call) and/or observation of nests, tracks, burrows, browse, skins, and scats (where applicable). Significant natural heritage features (e.g., wildlife habitat, fish habitat, etc.) were delineated in the field with a high accuracy GPS. Features of interest were photographed, and all information collected was catalogued for future reference. Overall, the level of effort expended on-site was deemed appropriate to document natural features and functions with recognized status given the location and scale of the proposed severance. Representative photographs taken during the site investigation are provided in **Appendix 1**.

Where appropriate, RiverStone explores further species-specific assessments in accordance with applicable standard methods and protocols. Targeted survey efforts may be undertaken due to one or more triggers, such as a specific request from an approval authority, an existing record for a species of interest, or a limitation to the habitat-based assessment (e.g., limited property access). Given the potential species present on the property, habitat features on the property and adjacent lands, as well as the location of the proposed development, no targeted studies were completed. All potential habitat functions are estimated based on review of background information and expert and conservative interpretation of on-site habitat structure, as discussed above.

Prior to visiting the subject property relevant background information, including site-specific spatial information (e.g., topography, vegetation communities), was reviewed using Geographic Information Systems (GIS). Natural heritage features on adjacent lands were delineated/classified based on provincial and municipal mapping, current and historic aerial photography, drone imagery, and/or assessment from the subject property boundary.

Information Sources

Background biophysical information pertaining to the subject property and adjacent lands (i.e., lands up to 120 m of the subject property, or other as relevant) was collected from a variety of sources. These include:

- **Municipality of Powassan Official Plan** (Draft 2024) for natural heritage feature mapping, including:
 - Schedule B1 Environmental Features
- **Municipality of Powassan Zoning By-Law** (2003-38) for applicable policies.
 - Schedule A Powassan Rural Area
- **MNRF Natural Areas Mapping** from the Natural Heritage Information Centre (NHIC) regarding information on occurrences of species of conservation interest on or adjacent to the subject property,

as well as significant natural areas (squares 17PM2508, 17PM2509, 17PM2608, 17PM2609, 17PM2708 and 17PM2709) accessed October 20, 2025, at: https://www.lioapplications.lrc.gov.on.ca/Natural_Heritage/index.html?viewer=Natural_Heritage.Natural_Heritage&locale=en-CA

- **Ontario Breeding Bird Atlas (OBBA) Online Database** and Atlas of the Breeding Birds of Ontario, 2001–2005 (Cadman et al. 2007) regarding birds that were documented to be breeding in the vicinity of the subject lands during the 2001–2005 period (atlas square number: 17TPM20; accessed October 29, 2025) at: <https://www.birdscanada.org/naturecounts/onatlas/squaresummaryform.jsp?squareID=17TPM20>.
- **Ontario Reptile and Amphibian Atlas** database regarding records of reptiles and amphibians that have been observed within the vicinity of the subject property (squares: 17PM20; accessed October 20, 2025, at <https://www.ontarioinsects.org/herp/>).
- **Ontario Butterfly Atlas** database regarding butterflies recorded in the vicinity of the site (squares: 17PM20; accessed October 30, 2025, at: <https://www.ontarioinsects.org/atlas/>).
- **iNaturalist Mapping and Online Database** regarding citizen scientist observations documented in the vicinity of the subject lands accessed October 29, 2025, at: <https://inaturalist.ca/projects/nhic-rare-species-of-ontario>
- **Species at Risk in Ontario List** as provided by Ministry of the Environment, Conservation and Parks: <https://www.ontario.ca/page/species-risk-ontario> (last accessed October 2025)
- **Atlas of the Mammals of Ontario** (Dobbyn 1994) regarding mammals recorded near the subject property.
- **Fisheries and Oceans Canada Aquatic Species at Risk Map**: <https://www.dfo-mpo.gc.ca/species-especes/sara-lep/map-carte/index-eng.html>
- **On-site investigations** by RiverStone staff

Endangered Species Act Amendment

Recently the Provincial government has made several amendments to the ESA through Bill 5, which has resulted in considerable changes to how species and their habitats are defined, evaluated and protected. Key amendments that effect how habitat protection is considered in an EIS are as follows;

- Amendments to several definitions in subsection 2 (1), including a new definition of “habitat”. The amended definition of “habitat” is as follows, directly from the amendment:
 - (a) in respect of an animal species,
 - (i) a dwelling-place, such as a den, nest or other similar place, that is occupied or habitually occupied by one or more members of a species for the purposes of breeding, rearing, staging, wintering or hibernating, and
 - the area immediately around a dwelling place described in subclause (i) that is essential for the purposes set out in that subclause.
 - (b) in respect of a vascular plant species, the critical root zone surrounding a member of the species, and
 - (c) in respect of all other species, an area on which any member of a species directly depends in order to carry on its life processes; (“habitat”)

- The following changes are made to section 7 so that making a regulation under that section is no longer mandatory but at the discretion of the Lieutenant Governor in Council:
 - The Lieutenant Governor in Council would be authorized to make a regulation listing species that are classified by COSSARO as extirpated species, endangered species, threatened species or special concern species.
 - Such a regulation would not be required to list all of the species classified by COSSARO but, if a species is listed, the classification of the species must be the same as COSSARO's classification.
 - Requirements under the Act relating to a species that has been removed from the list cease to have effect.
- The temporary suspension of protections upon initial listing of a species is removed.
- Provisions regarding government response statements, management plans and agreements are repealed and transitional amendments are made throughout to refer to requirements that continue in respect of instruments that existed before the date of repeal.
- Section 17 is re-enacted to remove the need for conditions to be satisfied before certain permits could be issued, remove reference to species conservation charges and make other changes.
- Section 18, which authorizes persons to engage in prohibited activities set out in a regulation if the activity is regulated under another Act, is repealed.

Of particular importance in the short term prior to formalization of the new *Species Conservation Act* to replace the *Endangered Species Act*, is the changing of the definition of what constitutes “habitat” and how that relates to the general habitat descriptions for various species. Historically, certain habitats and their functions may have been protected, while the new definition may not protect that function.

RiverStone historically contacted the Natural Heritage Information Centre (MNRF) through email correspondence for each property, to ensure that our review of SAR included all available provincial information. Recently, we were informed by NHIC that their review utilizes the same database that we would search online, through the MNRF Ontario Natural Heritage Make-a-Map online mapping tool, in making our review request. We were informed that additional data can be provided by NHIC where the online search determines that there are “Restricted Species” in the search area. As a result, we now only correspond with NHIC to request information where Restricted Species have been identified, at which time we request the species name and any additional data that they can provide, including more precise observation locations.

SITE ASSESSMENT / EXISTING CONDITIONS

The subject property is located east of Highway 11 and north of the town of Powassan. The property is accessed from the north via Golf Course Line. Existing development includes a dwelling, garage, shed and gravel driveway. The west portion of the property that is proposed to be severed was formerly a driving range for the golf course that lies immediately to the north access Golf Course Line. A large wetland feature lies to the east of the property.

The subject property was reviewed by A. McClelland (Ecologist) on October 23, 2025 to characterize vegetation and review potential habitat that could support SAR.

Topography, Soils and Drainage

The majority of the subject property consists of manicured grass (which was part of the former driving range) with the land sloping gently north towards Golf Course Line. The field and dwelling are surrounded on three sides by mixed woodlands, and the open manicured fields of the golf course to the north.

The subject property is located within the eastern portion of Ecodistrict 5E-5 (North Bay), which is characterized by deep deposits of coarse morainal material over Precambrian bedrock. Mixed and deciduous forest cover is common across the landscape (Wester *et al.* 2018). Review of Ontario soil mapping indicates that the study area contains coarse sandy loams over Precambrian bedrock.

RiverStone notes that the driveway was comprised of gravel and sand. A small patch of exposed sandy soil was observed at the south end of the property.

Vegetation Communities

All natural vegetation communities within the Subject Property were mapped according to the Great Lakes-St. Lawrence (GLSL) Ecosite Fact Sheets (Wester *et al.* 2015).

ANTH Anthropogenic

A very large portion of the subject property consists of manicured lawn; this area was formerly a driving range. Pockets of vegetation were noted along the treeline, which were comprised of Reed Canary Grass, Black Raspberry, Goldenrod (*Solidago* sp.), Beaked Hazelnut, Speckled Alder (*Alnus incana*), Bracken Fern, Canada Thistle (*Cirsium arvense*), Wrinkeleaf Goldenrod, Common Yarrow (*Achillea millefolium*), Flat-topped White Aster, Tansy (*Tanacetum vulgare*), Lance-leaved Aster (*Symphotrichum lanceolatum*), and Narrow-leaved Meadowsweet (*Spiraea alba*). The ditch along Golf Course Line was densely vegetated, comprised of sedges (*Carex* sp.), Tansy, Black Raspberry, Common Plantain (*Plantago major*), Reed Canary Grass, Narrow-leaved Cattail (*Typha angustifolia*), Lance-leaved Aster, Speckled Alder, Cow Vetch (*Vicia cracca*), Willow (*Salix* sp.), Goldenrod (*Solidago* sp.), White Birch, Common Evening Primrose (*Oenothera biennis*), Trembling Aspen, White Spruce and Tamarack (*Larix laricina*). A small patch of cattails was observed adjacent to the existing dwelling.

G055Tt Dry to Fresh, Coarse: Aspen – Birch Hardwood

The periphery of the subject property consisted primarily of mixed forest, corresponding approximately to Dry to Fresh, Coarse: Aspen – Birch Hardwood (G055Tt) with a mixed component. Tree species observed included Trembling Aspen (*Populus tremuloides*), Eastern White Pine (*Pinus strobus*), Balsam Fir (*Abies balsamea*), White Birch (*Betula papyrifera*), White Spruce (*Picea glauca*), Balsam Poplar (*Populus balsamifera*), Red Maple (*Acer rubrum*), Northern Red Oak (*Quercus rubra*), Largetooth Aspen (*Populus grandidentata*), Sugar Maple (*Acer saccharum*) and American Beech (*Fagus grandifolia*). Shrub species observed included Northern Bush Honeysuckle (*Diervilla lonicera*), Pussywillow (*Salix discolor*), and Beaked Hazelnut (*Corylus cornuta*). Groundcover species

observed included Bracken Fern (*Pteridium aquilinum*), Bunchberry (*Cornus canadensis*), Wrinkleleaf Goldenrod (*Solidago rugosa*), Spinulose Wood Fern (*Dryopteris carthusiana*) and Low Sweet Blueberry (*Vaccinium angustifolium*).

G048Tt Dry to Fresh, Coarse: Red Pine – White Pine Conifer

At the southeast corner of the subject property, the forest cover changes from mixed to coniferous and extends off-property. Tree cover was dominated by Eastern White Pine with minor components of Balsam Fir and Red Pine (*Pinus resinosa*).

G130Tt Intolerant Hardwood Swamp

A deciduous swamp community was identified south of the existing garage. The canopy was comprised of Black Ash (*Fraxinus nigra*, *endangered*), Green Ash (*Fraxinus pennsylvanica*), Red Maple and Trembling Aspen. Groundcover species observed included Strawberry (*Fragaria* sp.), Reed Canary Grass (*Phalaris arundinacea*), Flat-topped White Aster (*Doellingeria umbellata*), Wrinkleleaf Goldenrod, Cleavers (*Galium aparine*), a Sedge (*Carex* sp.), Currant (*Ribes* sp.), Horsetail (*Equisetum* sp.) and Sensitive Fern (*Onoclea sensibilis*).

G142N Mineral Meadow Marsh

This community was identified in the centre of the subject property, adjacent to the existing dwelling. The vegetation was dominated by Reed Canary Grass and sedges (*Carex* sp.); other species observed included Lance-leaved Aster, Black Raspberry (*Rubus occidentalis*), Dark Green Bulrush (*Scirpus atrovirens*), Redtop (*Agrostis gigantea*), Common Self-heal (*Prunella vulgaris*), Bebb's Willow (*Salix bebbiana*), and Woolgrass (*Scirpus cyperinus*).

SPECIES AT RISK

Based on the initial steps of our desktop analysis twenty (20) Endangered or Threatened species had the potential to occur within the assessment area or on adjacent lands. Following the review of aerial photography and our on-site assessment, that list was reduced to seven (7) endangered or threatened species that would have potentially suitable habitat on the property, including Black Ash, Eastern Red Bat (*Lasiurus borealis*), Little Brown Myotis (*Myotis lucifugus*), Hoary Bat (*Lasiurus cinereus*), Northern Long-eared Myotis (*Myotis septentrionalis*), Silver-haired Bat (*Lasionycteris noctivagans*) and Tri-colored Bat (*Perimyotis subflavus*). Information from the above assessment is provided in **Appendix 2**.

Black Ash - Endangered

Black Ash is a medium-sized tree that is typically found in swamps and other wet habitats. This species was added to the SARO List as of January 27, 2022, and species- or habitat-level protections were required under Regulations 242/08, 6/24 and 832/21 of the ESA (before being amended 2025) for this species in designated areas of Ontario; the Municipality of Powassan is outside of these areas, and as such Black Ash was not protected within the municipality.

Endangered Bat Species (*Lasiurus borealis*, *L. cinereus*, *Lasionycteris noctivagans*, *Myotis leibii*, *M. lucifugus*, *M. septentrionalis*, *Perimyotis subflavus*) - Endangered)

These species, assessed as a species guild (related species with similar habitat characteristics), include several bat species listed as endangered in Ontario. Bats are highly mobile; however, individuals and groups of the noted bat species are also recognized as having some degree of fidelity to suitable local sites for daily and seasonal ‘roosting’ activities. While some species (*i.e.*, *Myotis lucifugus*) exhibit a preference for roosting in anthropogenic structures, natural roosting sites are also important. Natural roosting sites are generally associated with mature forests containing a sufficient density of large trees in various stages of decay, otherwise known as ‘snags’. Snags provide features such as cavities and/or loose bark, on which bats rely for shelter and thermoregulation throughout the active season.

Woodland cover within the study area is extensive and while no formal quantitative evaluation of bat habitat was conducted to support this assessment, we estimate that there is potential for on-site trees/woodland to support roosting habitat for endangered bat species.

Current direction from the Ministry of Environment, Conservation and Parks (MECP) prescribes that targeted surveys of treed habitats/snags are not necessary to quantify the quality/extent of potential habitat for endangered bat species IF a project would involve removal of only a small number of potential maternity or day roost trees in treed habitats (or none at all). This approach assumes that other appropriate mitigation measures (*i.e.*, timing windows) are employed to avoid impacts to individuals of endangered bat species. For our assessment, it is RiverStone’s opinion that potential significant habitat features for bats could occur and it is not possible to rule out the potential for *individuals* of endangered bat species (or other bat species) to be present during the active season in any individual trees (*i.e.*, through migration and regular daily movements).

Blandings Turtle and Spotted Turtle – Endangered

The Blanding’s Turtle is a mid-sized turtle that typically inhabits wetlands with dense aquatic vegetation, but will also travel long distance over land between summer and winter habitats, and nesting sites (MECP 2019a). The Spotted Turtle is a small turtle that also inhabits wetlands, as well as ponds, vernal pools, creeks, ditches and stormwater ponds. Spotted Turtles have also been observed to travel over land in search of nesting sites (MECP 2019b).

As noted above, a Blanding’s Turtle was noted to be in the vicinity of the subject property by the MNRF, which instigated the need for this assessment. We contacted the MNRF for additional information regarding the observation and it was noted that the location of the Blanding’s Turtle was noted to not overlap with the subject property boundary, being a minimum of 70m to the west.

No aquatic features were identified within the subject property or on adjacent lands within 120 m. RiverStone notes on aerial photography that ponds, wetlands and a small lake is located within 1 km of the subject property, which may provide habitat for Blandings Turtles and Spotted Turtles. The areas of exposed sand / gravel along the driveway and near the south property boundary may provide potential nesting substrate for turtles; given that these species are known to travel over land, it is possible that they may occur on the subject property in search of nesting sites, though this is not confirmed.

PROPOSED DEVELOPMENT AND RECOMMENDED AVOIDANCE / MITIGATION MEASURES

If approved, the proposed development will create two (2) new lots (**Figure 2**) that will allow residential dwelling and associated structures, including a septic system. Our assessment has considered this plan and the potential for various SAR, as noted below.

Endangered Bat Species

All *Myotis* species in Ontario, as well as the eastern Red Bat, Hoary Bat, Silver-haired Bat and the Tricolored Bat, are designated as endangered per O. Reg. 230/08 under the ESA. Little Brown *Myotis*, and Northern *Myotis* utilize dark, sheltered tree cavities within snag trees as roosting sites to shelter from inclement weather and gestate their young (Humphrey and Fotherby 2019). Tricolored Bat utilize clumps of dead vegetation and peeling tree bark for the same purposes. Individuals (i.e., non-reproductive females and males) of bat species may roost in smaller diameter trees and other spaces (e.g., beneath house siding, etc.) that are not typically occupied by maternity colonies (Humphrey and Fotherby 2019).

Forest cover within the subject property does contain suitable habitat for these bat species, similar to the surrounding landscape. For such scenarios, common direction from MECP regarding impact avoidance for individuals of endangered bats includes strict adherence to vegetation removal timing windows. By limiting the timing window in which trees can be removed to outside of the active season for bats, development activities can avoid incidental harm to individuals of endangered bat species. Assuming implementation of appropriate tree removal timing windows, there is no expectation that the proposal will result in any negative impacts to individuals of endangered bat species. Recommendations are clarified as follows:

- **Tree removals required to accommodate development take place outside of the season in which endangered bats may be actively roosting, i.e., April 1 – Sept 30.**

If tree clearing must occur within the above-noted timing window, additional studies may need to be completed to confirm the presence/absence of SAR bats. These studies can include snag tree surveys and acoustic monitoring of the area where trees will be removed, by a qualified professional. If SAR bats may be impacted by the development proposal, the MECP should be contacted to determine if a permit would be required to proceed.

Blandings Turtle and Spotted Turtle

No aquatic habitat, such as wetlands, for Blandings Turtle or Spotted Turtle was identified within the study area. Driveways and roadsides are often used by Turtles for nesting when the substrates are appropriate, which is the case of the driveway on the subject property. People-made features like driveways are not ideal for nesting turtles as they are subject to injury or death by vehicles and are easily predated by domesticated pets and wild animals given the easy access. Protecting potential nesting habitat within a driveway is neither practical or required; however, practices should be put into place during construction in order to discourage nesting by turtles within areas of stored aggregate. Recommendations for avoiding impacts to Blandings Turtle or Spotted Turtle are as follows:

- **If construction is to occur within the turtle nesting period (June into early July), exclusion fencing should be installed around active construction areas with sand and gravel to prevent turtles from accessing these areas (Appendix 4).**
- **If a Blandings Turtle or Spotted Turtle is observed during construction, a professional ecologist should be contacted to provide direction on how to proceed. MECP may need to be contacted if a nest is discovered.**

SUMMARY

Based upon the evaluation detailed herein, it is the opinion of RiverStone that provided the recommendations contained in this report are implemented and enforced by the Municipality of Powassan, through appropriate planning tools, the impacts on SAR habitat can be acceptably minimized. In review of the policies of the Municipality, Province and Federal Government related to SAR habitat, it is our opinion that all can be met with the approval of the development proposal. We trust that the information provided in this letter report satisfies your requirements and provides useful recommendations to protect SAR habitat. Please do not hesitate to call should you have any questions.

Best regards,
RiverStone Environmental Solutions Inc.



Al Shaw, M.Sc.
Senior Ecologist/Principal

REFERENCES

- Humphrey, Christy and Heather Fotherby.** 2019. Recovery Strategy for the Little Brown Myotis (*Myotis lucifugus*), Northern Myotis (*Myotis septentrionalis*) and Tri-colored Bat (*Perimyotis subflavus*) in Ontario. Ontario Recovery Strategy Series. Prepared by the Ministry of the Environment, Conservation and Parks, Peterborough, Ontario. vii + 35 pp. + Appendix. Adoption of the Recovery Strategy for the Little Brown Myotis (*Myotis lucifugus*), the Northern Myotis (*Myotis septentrionalis*), and the Tri-colored Bat (*Perimyotis subflavus*) in Canada (Environment and Climate Change Canada 2018).
- Ministry of the Environment, Conservation and Park (MECP).** 2019a. Recovery Strategy for the Blanding's Turtle (*Emydoidea blandingii*) in Ontario. Ontario Recovery Strategy Series. Prepared by the Ministry of the Environment, Conservation and Parks, Peterborough, Ontario. iv + 6 pp. + Appendix. Adoption of the Recovery Strategy for Blanding's Turtle (*Emydoidea blandingii*), Great Lakes / St. Lawrence population, in Canada (Environment and Climate Change Canada 2018).
- Ministry of the Environment, Conservation and Park (MECP).** 2019b. Recovery Strategy for the Spotted Turtle (*Clemmys guttata*) in Ontario. Ontario Recovery Strategy Series. Prepared by the Ministry of the Environment, Conservation and Parks, Peterborough, Ontario. iv+ 5 pp. + Appendix. Adoption of the Recovery Strategy for Spotted Turtle (*Clemmys guttata*) in Canada (Environment and Climate Change Canada 2018).
- Wester, M., P. Uhlig, W. Bakowsky, and E. Banton.** 2015. Great Lakes-St. Lawrence Ecosite Fact Sheets (third draft).
- Wester, M.C. , Henson, B.L., Crins, W.J., Uhlig, P.W.C, and Gray, P.A.** 2018. The Ecosystems of Ontario, Part 2: Ecodistricts. Ontario Ministry of Natural Resources and Forestry, Science and Research Branch, Peterborough, ON. Science and Research Technical Report TR-26. 474 p. + appendices.



NORTH BAY - MATTAWA
**CONSERVATION
AUTHORITY**

September 24, 2025

Dean & Judith Harrington
highview18@yahoo.com

c/o

Markus Odd
markusodd17@gmail.com

Re: Review of Planning Act Proposal, Application # PC04-PO-25
Lot 11, Con 16, Plan 42R-4973, Parcel 3469
59 Golf Course Line
Roll # 4959 010 001 61720 0000
Municipality of Powassan, District of Parry Sound

The Conservation Authority has received and reviewed your Application for Review of Planning Proposals and have no objections to the granting of consent as described in your application.

The Retained Lot, 1.5ha (3.7 acres), currently has a dwelling serviced by a sewage system (Permit #03-PO-01). There appeared to be two suitable locations observed on the retained portion to accommodate a replacement sewage system. The newly created lot lines do not appear to encroach on the sewage system setbacks.

The Severed Lot 1, 1.0ha (2.5 acres), is currently vacant. There appeared to be two suitable locations observed on this severed portion to accommodate a sewage system.

The Severed Lot 2, 1.5ha (3.7 acres), is currently vacant. There appeared to be two suitable locations observed on this severed portion to accommodate a sewage system.

Please note that zoning by-laws are applicable in this area and increased setbacks may apply.

All comments are based on Ontario Regulation 203/24 of the Ontario Building Code for a 3-bedroom dwelling (less than 20 fixture units and less than 200 m², 4F filter bed of 21.3 m² and a 3600 L tank), soil percolation of T-50 min/cm, and a daily design sewage flow of 1600 L/day.

Please be advised that prior to any development on the above-mentioned properties a Sewage System Permit is required. Should you have any questions or require further information please contact Derek Airdrie of our office at 15 Janey Avenue, North Bay ON, P1C 1N1 or by telephone at (705) 474-5420.

Yours truly,

A handwritten signature in black ink, appearing to read 'KR Rivard'.

Kris Rivard
CBO - Manager, On-Site Sewage System Program

c.c. Municipality of Powassan

OBC REVIEW OF PLANNING PROPOSALS



NORTH BAY - MATTAWA
CONSERVATION
AUTHORITY

(Other Applications / Additional Information on Back)

Applicant	Dean & Judith Harrington	File #	PC04-PO-25
Retained Lands		Severed Lot #1	
Size:	1.5ha 3.7 acres	Size:	1ha (2.5 acres)
Dwelling on Property	YES	Dwelling on Property	VACANT
General Description newly formed lot line will be 8.97m to the approximate location of the bed - as per the survey completed by Tulloch currently service by 03-PO-01 room for replacement		General Description open flat grassy area old driving range? still has flags from golf holes room for initial and replacement system	
Satisfactory	<input checked="" type="checkbox"/>	Satisfactory	<input checked="" type="checkbox"/>
Unsatisfactory	<input type="checkbox"/>	Unsatisfactory	<input type="checkbox"/>
Severed Lot #2		Severed Lot #3	
Size:	1.5ha (3.7 acres)	Size:	
Dwelling on Property	VACANT	Dwelling on Property	
General Description open flat grassy area old driving range? still has flags from golf holes room for initial and replacement system		General Description	
Satisfactory	<input checked="" type="checkbox"/>	Satisfactory	<input type="checkbox"/>
Unsatisfactory	<input type="checkbox"/>	Unsatisfactory	<input type="checkbox"/>
Inspector	Derek Airdrie	Date	September 22, 2025



Markus Odd <markusodd17@gmail.com>

MTO Highway Corridor Management Response to Pre-consultation Request 2025-54N-000847 Submitted on October 28, 2025/Réponse à la demande de consultation préalable au Bureau de gestion des couloirs routiers du MTO no 2025-54N-000847 soumise le 28 octobre 2025

HCMS-Do-Not-Reply <HCMS@ontario.ca>
To: markusodd17@gmail.com

Mon, Nov 10, 2025 at 1:59 PM

Please see the response below to the Pre-consultation request you submitted on October 28, 2025.

Hi Markus,

I have reviewed your proposed land severance at 59 Golf Course Line, Powassan to create two new residential lots and retain one residential lot. I have no objections or comments regarding the proposed land severance.

Please be advised that the site is within the MTO's permit control. Prior to any site development, construction or grading, you must obtain a MTO Building and Land Use permit. Apply for the permit once your severance has been approved by the municipality. All site access shall be from Golf Course Line along the northern frontage of the property.

If you have any questions or concerns please do not hesitate to contact me. For permit related inquiries, please contact Diane Villneff, Corridor Management Officer at diane.villneff@ontario.ca or 705-498-4458.

thank you,

Usman Akhtar

If you have any questions, please contact:

Employee to whom the Pre-consultation has been assigned to for review:

Usman Akhtar

Phone: 416-276-0704

Email: Usman.Akhtar@ontario.ca

Ministry of Transportation
Highway Corridor Management Section - North Bay Office
447 McKeown Ave
North Bay, ON
P1B 9S9

Please retain this email for your records.

Thank You,
Highway Corridor Management
Ministry of Transportation of Ontario
<https://www.hcms.mto.gov.on.ca>

Please note: This email was sent from a notification-only address that cannot accept incoming email. Please do not reply to this message.

Veillez voir la réponse ci-dessous à la demande de consultation préalable soumise le 28 octobre 2025.

Hi Markus,

I have reviewed your proposed land severance at 59 Golf Course Line, Powassan to create two new residential lots and retain one residential lot. I have no objections or comments regarding the proposed land severance.

Please be advised that the site is within the MTO's permit control. Prior to any site development, construction or grading, you must obtain a MTO Building and Land Use permit. Apply for the permit once your severance has been approved by the municipality. All site access shall be from Golf Course Line along the northern frontage of the property.

If you have any questions or concerns please do not hesitate to contact me. For permit related inquiries, please contact Diane Villneff, Corridor Management Officer at diane.villneff@ontario.ca or 705-498-4458.

thank you,

Usman Akhtar

Si vous avez des questions, veuillez communiquer avec:

Nom de l'employée ou de l'employé à qui la demande de consultation préalable a été soumise :

Usman Akhtar

Téléphone : 416-276-0704

Adresse de courriel : Usman.Akhtar@ontario.ca

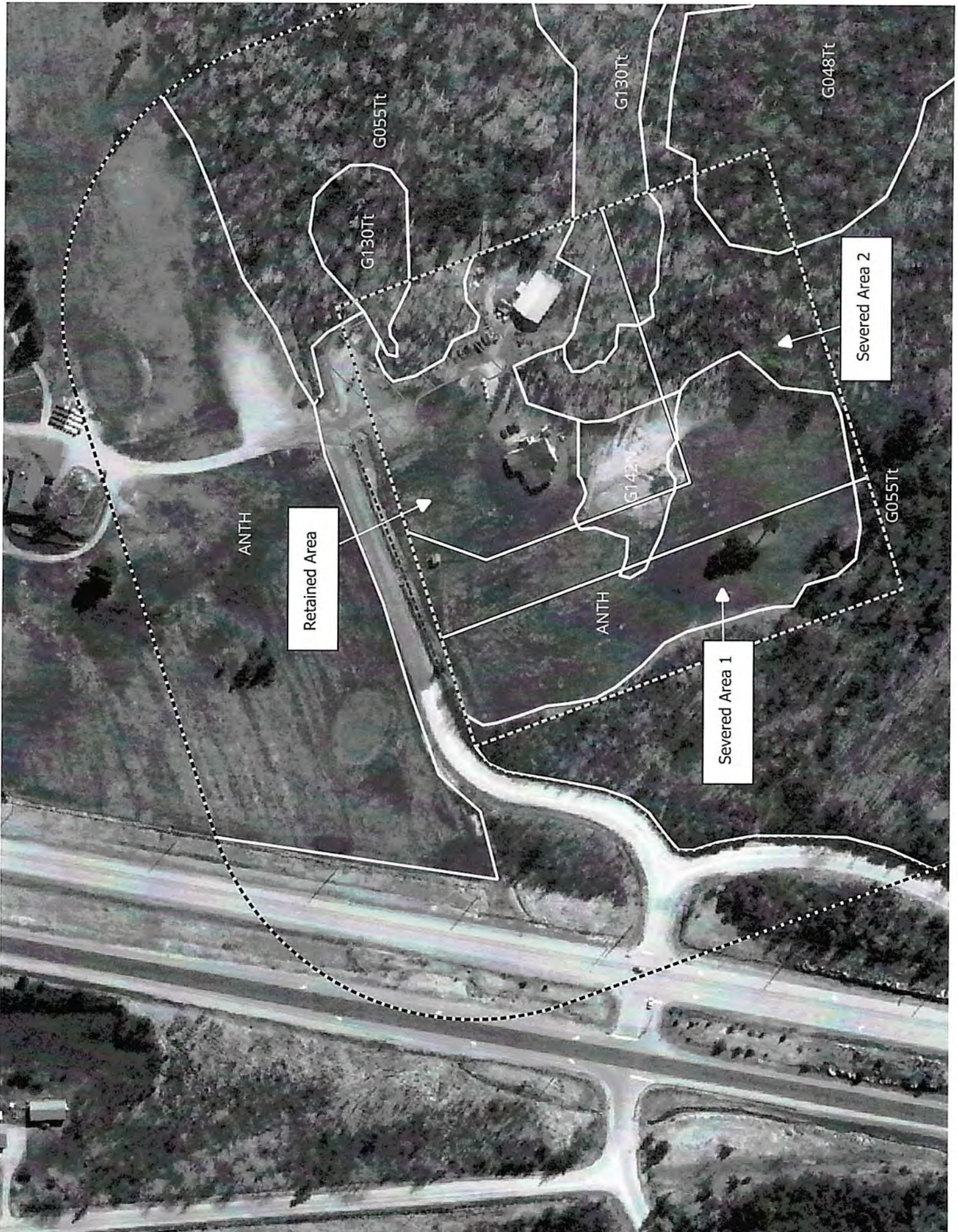
Ministère des Transports
Highway Corridor Management Section - North Bay Office
447 McKeown Ave
North Bay, ON
P1B 9S9

Veuillez conserver ce courriel pour vos dossiers.

Cordialement,
Gestion des couloirs routiers
Ministère des Transports de l'Ontario
<https://www.hcms.mto.gov.on.ca>

Veuillez noter ce qui suit : Ce courriel est envoyé à partir d'une adresse servant uniquement à l'envoi d'avis qui ne peut accepter de courriels entrants. Veuillez ne pas répondre à ce message.





Retained Area

Severed Area 1

Severed Area 2

ANTH

ANTH

G055Tt

G130Tt

G130Tt

G048Tt

G142Tt

G055Tt

Appendix 1. Select Photos from Site Visit



RIVERSTONE
ENVIRONMENTAL SOLUTIONS INC.



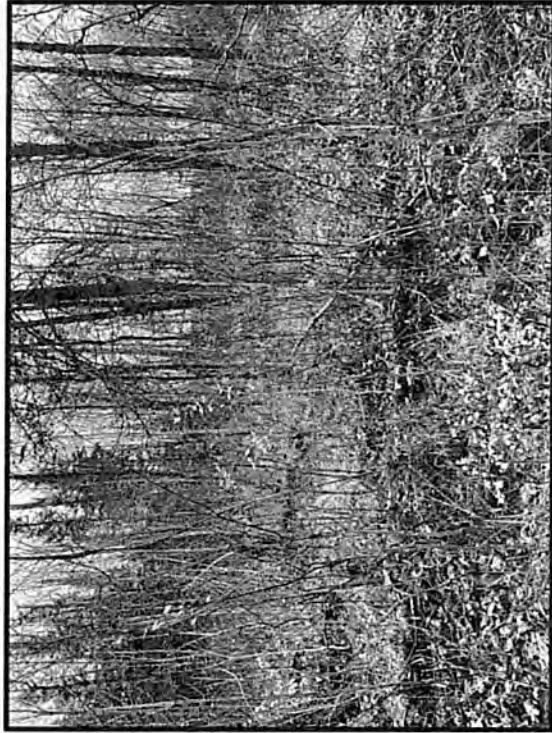
Photograph 1. Vegetated ditch along Golf Course Line (October 23, 2025)



Photograph 2. Aerial view of subject property (October 23, 2025)



Photograph 3. Mixed forest (October 23, 2025)



Photograph 4. Deciduous Swamp (October 23, 2025)



Photograph 5. Aerial view of meadow marsh (October 23, 2025)



Photograph 6. Aerial view of golf course ponds east of the subject property (October 23, 2025)



Photograph 7. View of gravel / sand substrate along driveway (October 23, 2025)



Photograph 8. Exposed sand substrate at south end of property (October 23, 2025)

Appendix 2. Assessment of Habitat of Endangered and Threatened Species



RIVERSTONE
ENVIRONMENTAL SOLUTIONS INC.

Species	ESA Status	General Description of Habitat and Range	Is the study area within the current known range of the species.	Do applicable databases contain records for this species within or adjacent to the study area.	Is suitable habitat present within the study area.	Is suitable habitat present within lands adjacent to the study area.
Bank Swallow (<i>Riparia riparia</i>)	THR	The Bank Swallow is a small aerial insectivore bird that nests colonially in burrows they excavate within banks. Colonies will nest in bluffs, riverbanks, aggregate pits, roadside embankments, and topsoil piles near open habitat that provides a steady source of insects. Colony sites must also be near roosting areas in wetland, reed, or cane beds.	YES	YES, OBBA	NO	UNKNOWN
Black Ash (<i>Fraxinus nigra</i>)	END	The Black Ash grows everywhere in Ontario except the Far North. These trees require moisture, and are commonly found in northern swampy woodlands, from eastern Manitoba, throughout Ontario, and as far east as Newfoundland.	YES	YES, iNaturalist records	YES	YES
Blanding's Turtle (<i>Emydoidea blandingii</i>)	THR	Blanding's Turtle are semi-aquatic and use wetland habitats with shallow water and abundant vegetation. Their habitat includes a broad range of wetlands, forest clearings, and meadows. They breed in aquatic habitat and nest in open natural and anthropogenic upland areas.	YES	YES, NHIC	YES	POSSIBLE
Bobolink (<i>Dolichonyx oryzivorus</i>)	THR	Nests and forages in meadows, grasslands, hayfields, and pastureland. Fields must have 25% or less woody plant cover. They typically require large fields (>4ha) and avoid small, fragmented habitats. They also avoid habitat within 75 m of a forest edge.	YES	YES, OBBA	NO	POSSIBLE
Chimney Swift (<i>Chaetura pelagica</i>)	THR	The Chimney Swift historically nested and roosted in large hollow trees, rock walls, and other vertical surfaces. They now use human-made structures like uncapped chimneys and have high site fidelity to nesting chimneys. 95% of nests are within 1 km of a waterbody.	YES	YES, OBBA	NO	UNKNOWN

Species	ESA Status	General Description of Habitat and Range	Is the study area within the current known range of the species.	Do applicable databases contain records for this species within or adjacent to the study area.	Is suitable habitat present within the study area.	Is suitable habitat present within lands adjacent to the study area.
Eastern Red Bat (<i>Lasiurus borealis</i>)	END	The range of the Eastern Red Bat extends from east of the Western Cordillera to the Gulf of Mexico. They are long-distance migrants that travel to the southern United States to overwinter. Their summer habitat is deciduous and coniferous forests. Roost habitat is within the foliage of supercanopy trees.	YES	NO	YES	YES
Eastern Small-footed Myotis (<i>Myotis leibii</i>)	END	Eastern Small-footed Myotis overwinter in caves and mines in Ontario and do not disperse far from their hibernacula during the summer. They can be found roosting in rocky habitats singly or in groups but will also use human structures as day roosts. They are aerial insectivores and forage in forests, rocky habitats, and ponds.	YES	NO	NO	UNKNOWN
Eastern Wolf (<i>Canis lupus lycaon</i>)	THR	The Algonquin Wolf range includes Algonquin Park and the surrounding townships. They are known to migrate 15 km to 70 km to the Round Lake deer yard in the winter.	YES	NO	NO	UNKNOWN
Hoary Bat (<i>Lasiurus cinereus</i>)	END	The Hoary Bat is a long-distance migrant with a range that extends from British Columbia to the Atlantic provinces. Hoary Bats roost alone or with their pups on tree branches in deciduous and coniferous forests of any age class. Maternity roost trees tend to be large and as tall or taller than the surrounding canopy. Foraging habitat includes wetlands, open areas, and forest edges and gaps.	YES	NO	YES	YES
Least Bittern (<i>Ixobrychus exilis</i>)	THR	Breeds in large marshes within Southern Ontario. Creates nest platforms from tall, dense emergent vegetation within 10m of water and prefers <i>Typha</i> spp. Will use other emergent vegetation. Needs 200 ha of wetland for nesting and foraging but does not need to be continuous wetland. Prefers complexes of smaller wetlands. Will avoid marshes surrounded by >30% forest cover or containing large trees.	YES	YES, OBBA	NO	POSSIBLE

Species	ESA Status	General Description of Habitat and Range	Is the study area within the current known range of the species.	Do applicable databases contain records for this species within or adjacent to the study area.	Is suitable habitat present within the study area.	Is suitable habitat present within lands adjacent to the study area.	The : exte
Little Brown Myotis (<i>Myotis lucifugus</i>)	END	Their hibernacula are within caves and abandoned mines, wells, and tunnels. Maternity colonies are within a few kilometers of hibernacula within snag trees, rock crevices, exfoliating tree bark, and anthropogenic structures. Roosts and swarming sites are in similar areas around the hibernacula.	YES	NO	YES	YES	The : exte
Northern Myotis/Northern Long eared Bat (<i>Myotis septentrionalis</i>)	END	Northern Myotis are found below the tree line in Canada and are mostly absent from the prairies. They use live and dead trees near water in forest habitats when active and migrate to caves and abandoned mines for hibernation.	YES	NO	YES	YES	The : exte
Red-Headed Woodpecker (<i>Melanerpes erythrocephalus</i>)	END	The Red-headed Woodpecker lives in open woodland and woodland edges and is often found in parks, golf courses and cemeteries. These areas typically have many dead trees, that the bird uses for nesting and perching. The Red-headed Woodpecker is found across southern Ontario, where it is widespread but rare.	YES	NO	NO	NO	The min Wo
Short-eared Owl (<i>Asio flammeus</i>)	THR	The Short-eared Owl breeds in northern Ontario and is found year-round in southern Ontario. They use open habitats (tundra, grassland, pasture) to nest on the ground and overwinter in open areas with nearby roosting trees. They shelter from inclement weather in conifers and emergent wetland vegetation.	YES	YES, OBBA	NO	POSSIBLE	No ; proj
Silver-haired Bat (<i>Lasionycteris noctivagans</i>)	END	Silver-haired Bats are found throughout all of Ontario but are uncommon near Hudson Bay. They migrate to the United States and southeastern British Columbia to overwinter. They roost under bark and within cavities in coniferous and deciduous trees, and may also roost in anthropogenic structures. Foraging habitat is within forests and forest edges.	YES	NO	YES	YES	The : exte

Species	ESA Status	General Description of Habitat and Range	Is the study area within the current known range of the species.	Do applicable databases contain records for this species within or adjacent to the study area.	Is suitable habitat present within the study area.	Is suitable habitat present within lands adjacent to the study area.	The : exte
Tricolored Bat (<i>Perimyotis subflavus</i>)	END	The Tri-colored Bat have a scattered distribution and are found as far north as Sudbury. They are found in a variety of forested habitats. They overwinter alone in caves and mines and roost in dead vegetation clumps and lichen in forested habitats near water.	YES	NO	YES	YES	
Wood Turtle (<i>Glyptemys insculpta</i>)	END	The Wood Turtle has three prominent Ontario populations (southern, eastern, north of Lake Huron). They use moderate current watercourses with hard sand or sandy gravel substrate and vegetated shorelines. Nests are in sandy soil with direct light. Foraging habitat is tall shrubs, woods with intact understory vegetation, or floodplains.	YES	NO	NO	NO	No. Wo kno

METRIC

DISTANCES SHOWN ON THIS PLAN ARE
IN METRES AND CAN BE CONVERTED
TO FEET BY DIVIDING BY 0.3048.

NOTE

DIMENSIONS WERE OBTAINED
FROM FIELD SURVEY.

CAUTION

- a) THIS IS NOT A PLAN OF SURVEY AND SHALL
NOT BE USED EXCEPT FOR THE PURPOSE
INDICATED IN THE TITLE BLOCK.
- b) THIS SKETCH IS PROTECTED BY COPYRIGHT ©

SKETCH FOR CONSENT

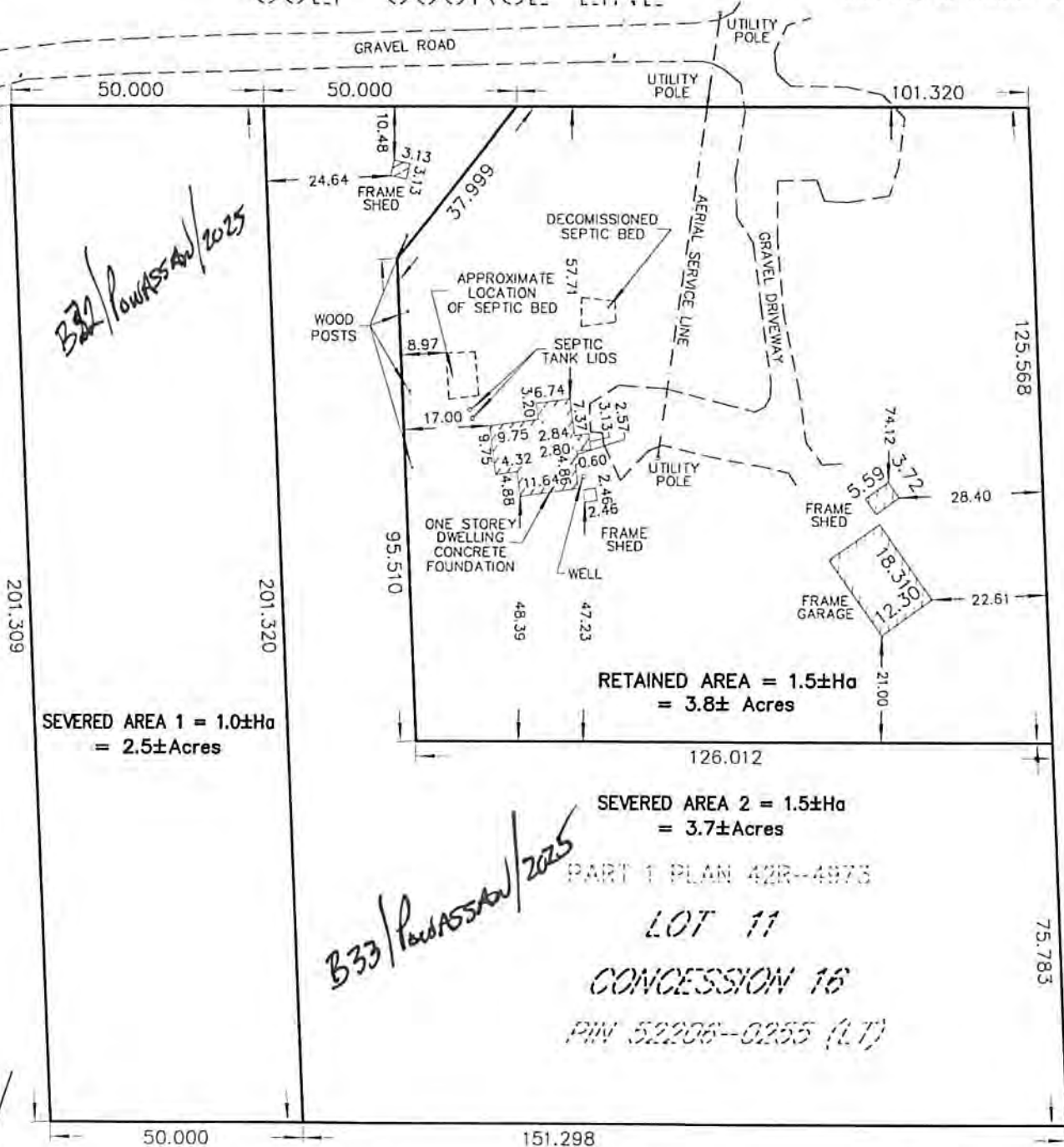
0 25 50m

SCALE 1 : 1250

NOTE

PART OF LOT 11
CONCESSION 16
TOWNSHIP OF SOUTH HIMSWORTH
NOW IN THE
MUNICIPALITY OF POWASSAN
DISTRICT OF PARRY SOUND

GOLF COURSE LINE



LOT COVERAGE RETAINED AREA

AREA OF PROPERTY = 15434.8m²
AREA OF EXISTING DWELLING = 248.5m²
AREA OF FRAME GARAGE = 224.2m²
AREA OF FRAME SHEDS = 15.8m²

LOT COVERAGE = 3.2%

CLIENT: MARKUS ODD



TULLOCH GEOMATICS INC.
1501 SEYMOUR STREET
NORTH BAY ON
P1A 0C5
northbay@tulloch.ca
T. 705-474-1210
F. 705-474-1783

DRAWN BY: D. D. FILE No. 251153

APPENDIX A

DONATION REQUEST APPLICATION

Group/Organization Applying: TROUT CREEK LIONS
Address: 181 MAIN WEST T.C. Com. Centre
Contact Person(s): JOYANN OSBORNE
Position(s): PRESIDENT

What type of donation is being requested?

Monetary Donation

"In-Kind" Donation

Donation value being requested: ?

How Will Funds Be Used?

NO FUNDS NEEDED

Is Your Group Based in the Municipality of Powassan?

Yes

No

If no, how does your group support the residents of the Municipality of Powassan?

Is Your Group Not-For-Profit organization?

Yes

No

How Many Years Has Your Group/Organization Been in Operation?

53

What other sources of funding are used by your organization to provide its services?

FUNDRAISING.

If successful, describe how the Municipality of Powassan will be given recognition for this donation:

AT OUR LIONS MEETING WE WILL
INFORM ALL MEMBERS.

Any additional information which you consider necessary for Council to make an informed decision?

THIS IS A NO CHARGE CHRISTMAS DINNER
FOR FOOD BANK CLIENTS OF TROUT CREEK
AS WELL AS SENIORS. THERE WILL BE A DONATION
BUCKET ON SITE.

Applicant Name (Print): JOYAN N OSBORNE

Applicant Signature: Jay Ann Osborne

Ministry of Transportation

Highway Operations
Management Branch
Special Highway Operations
Initiatives Office

301 St. Paul Street, 2nd Floor
St. Catharines, Ontario
L2R 7R4
Telephone: (905) 396 8142

Ministère des Transports

Direction de la gestion des
opérations routières
Bureau des initiatives spéciales
en matière d'opérations
routières

301, rue St. Paul, 2^e étage
St. Catharines (Ontario)
L2R 7R4
Téléphone: (905) 396 8142



Date: November 10, 2025

Re: Pothole Prevention and Repair Program Notification

The Minister of Transportation recently announced the new Pothole Prevention and Repair Program. This program aims to enhance road safety and reduce vehicle damage due to potholes.

Ontario municipalities with a population of 10,000 or less according to the 2021 Statistics Canada census data are eligible to apply. Our review has identified that your municipality is eligible to apply for the program. For more details about the program, please review the attached *Pothole Prevention and Repair Program Guidelines*.

Applications can be submitted through the [Transfer Payment Ontario](#) portal which will remain open until December 12, 2025. Please note that late submissions will not be accepted.

If you have any questions, please contact PPRP@ontario.ca.

Sincerely,

A handwritten signature in blue ink, appearing to read "Tyler Graham", with a stylized flourish at the end.

Tyler Graham
Manager, Special Highway Operations Initiatives

bc: J. Ranger, Director, Highway Operations Management Branch

**Ministry of
Municipal Affairs
and Housing**

Office of the Minister

777 Bay Street, 17th Floor
Toronto ON M7A 2J3
Tel.: 416 585-7000

**Ministère des
Affaires municipales
et du Logement**

Bureau du ministre

777, rue Bay, 17^e étage
Toronto (Ontario) M7A 2J3
Tél.: 416 585-7000



234-2025-4923

October 30, 2025

Dear Head of Council:

I am writing to update you on amendments to the *Development Charges Act, 1997* (DCA) that were made by Bill 17, the *Protect Ontario by Building Faster and Smarter Act, 2025*, and corresponding changes to Ontario's Building Code.

As you recall, our government introduced Bill 17 to help speed up the construction of new homes and infrastructure by streamlining development processes and reducing costs, in partnership with municipalities. Among the changes, the Bill:

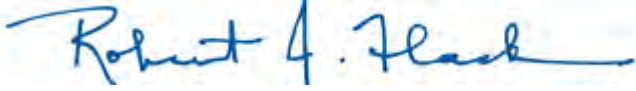
- Amended the DCA to provide for payment of development charges (DCs) for non-rental residential developments to be made in full at the earlier of the date an occupancy permit is issued and the date a development is first occupied. This deferral would encourage residential construction activity by enhancing a developer's cashflow flexibility.
- Removed authority for municipalities to charge interest on any legislated DC deferral amounts, except to the extent such interest has accrued prior to these changes coming into force.

The amendments noted above require a commencement order to come into force. Following consultations with municipal and industry experts, the government has issued a commencement order to bring these changes into force on November 3, 2025.

To support the implementation of deferred development charges, I will be amending the Building Code to require that all non-rental residential buildings subject to a deferred development charge will now require an occupancy permit, which can only be issued once these deferred development charges have been paid. These targeted changes will establish a clear, enforceable payment trigger for municipalities while leaving all life-safety requirements for occupancy unchanged. These Building Code amendments will take effect alongside the DCA amendments on November 3, 2025. Municipalities without development charges, and requirements for other buildings, are unaffected.

I look forward to continuing to work together to get shovels in the ground to build more homes that Ontarians can afford. Please accept my best wishes.

Sincerely,



Hon. Robert J. Flack
Minister of Municipal Affairs and Housing

- c. Municipal Chief Administrative Officer
 Robert Dodd, Chief of Staff
 Martha Greenberg, Deputy Minister
 Caspar Hall, Assistant Deputy Minister, Local Government Division
 David McLean, Assistant Deputy Minister, Housing Policy and Planning Division

November 2025

November 2025							December 2025						
Su	Mo	Tu	We	Th	Fr	Sa	Su	Mo	Tu	We	Th	Fr	Sa
						1	1	2	3	4	5	6	
2	3	4	5	6	7	8	7	8	9	10	11	12	13
9	10	11	12	13	14	15	14	15	16	17	18	19	20
16	17	18	19	20	21	22	21	22	23	24	25	26	27
23	24	25	26	27	28	29	28	29	30	31			
30													

SUNDAY	MONDAY	TUESDAY	WEDNESDAY	THURSDAY	FRIDAY	SATURDAY
Oct 26	27	28	29	30	31	Nov 1
2	3	4 Council	5	6	7	8
9	10	11 Remembrance Day - Office Closed	12 NBMCA	13 DSSAB	14	15
16	17 Library Board	18 Council Golden Sunshine Housing Copr.	19 Eastholme	20 Recreation Committee	21	22
23	24	25	26	27	28	29
30	Dec 1	2	3	4	5	6